

# ISSAQUAH APARTMENTS

955 7TH AVENUE NW ISSAQUAH, WA 98027

## SITE DEVELOPMENT PERMIT

SUBMITTAL DATE: 4/19/2016



### PROJECT TEAM

OWNER:	ISSY 7TH AVE, LLC 9675 SE 36TH STREET, SUITE 105, MERCER ISLAND, WA 98040 CONTACT: JOHN SHAW - (PHONE) 206.588.1147 x117	ELECTRICAL:	EMERALD CITY ENGINEERS, INC. 6505 216TH ASTREET SW, SUITE 200, MOUNTLAKE TERRACE, WA 98043 CONTACT: ADAM FRENCH - (PHONE) 425.741.1200
ARCHITECT:	grouparchitect 1735 WESTLAKE AVE N, SUITE 200 SEATTLE, WA 98109 CONTACT: BRIAN PALIDAR - (PHONE) 206.365.1230	PLUMBING:	tbid
CIVIL:	D.R. STRONG CONSULTING ENGINEERS 620 7TH AVE, KIRKLAND, WA 98033 CONTACT: MAHER JOUDI, PE (PHONE) 425.827.3063	MECHANICAL:	tbid
LANDSCAPE:	THE LA STUDIO, LLC 15200 52ND AVE SOUTH, SUITE 210 CONTACT: MEL EASTER, (PHONE) 206.204.0507	GEOTECH:	EARCH SOLUTIONS NW, LLC 1805 136TH PLACE NE, SUITE 201, BELLEVUE, WA 98005 CONTACT: STEPHEN AVRIL - (PHONE) 425-449-4704
STRUCTURAL:	FOSSATHI PAWLAK STRUCTURAL ENGINEERS 1735 WESTLAKE AVE N, SUITE 205 SEATTLE, WA 98109 CONTACT: PETE PAWLAK, S.E. - (PHONE) 206.456.3071	TRAFFIC:	GIBSON TRAFFIC CONSULTANTS INC. 2802 WETMORE AVE SUITE 220, EVERETT, WA 98201 CONTACT: MATT PALMER - (PHONE) 425.339.8266
		ARBORIST:	GREENFOREST, INC. CONTACT: FAVERO GREENFOREST - (PHONE) 206.723.0656
CONTRACTOR: tbid			

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1735 westlake avenue north, suite 200, seattle, wa 98109  
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grouparchitect



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PROJECT:

### ISSAQUAH APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98207

CLIENT:

### ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2015

SHEET DATE: 4/19/2016

REVISIONS

DRAWN: NRG/ AMM

CHECKED: NRG

PROJECT No. 1531

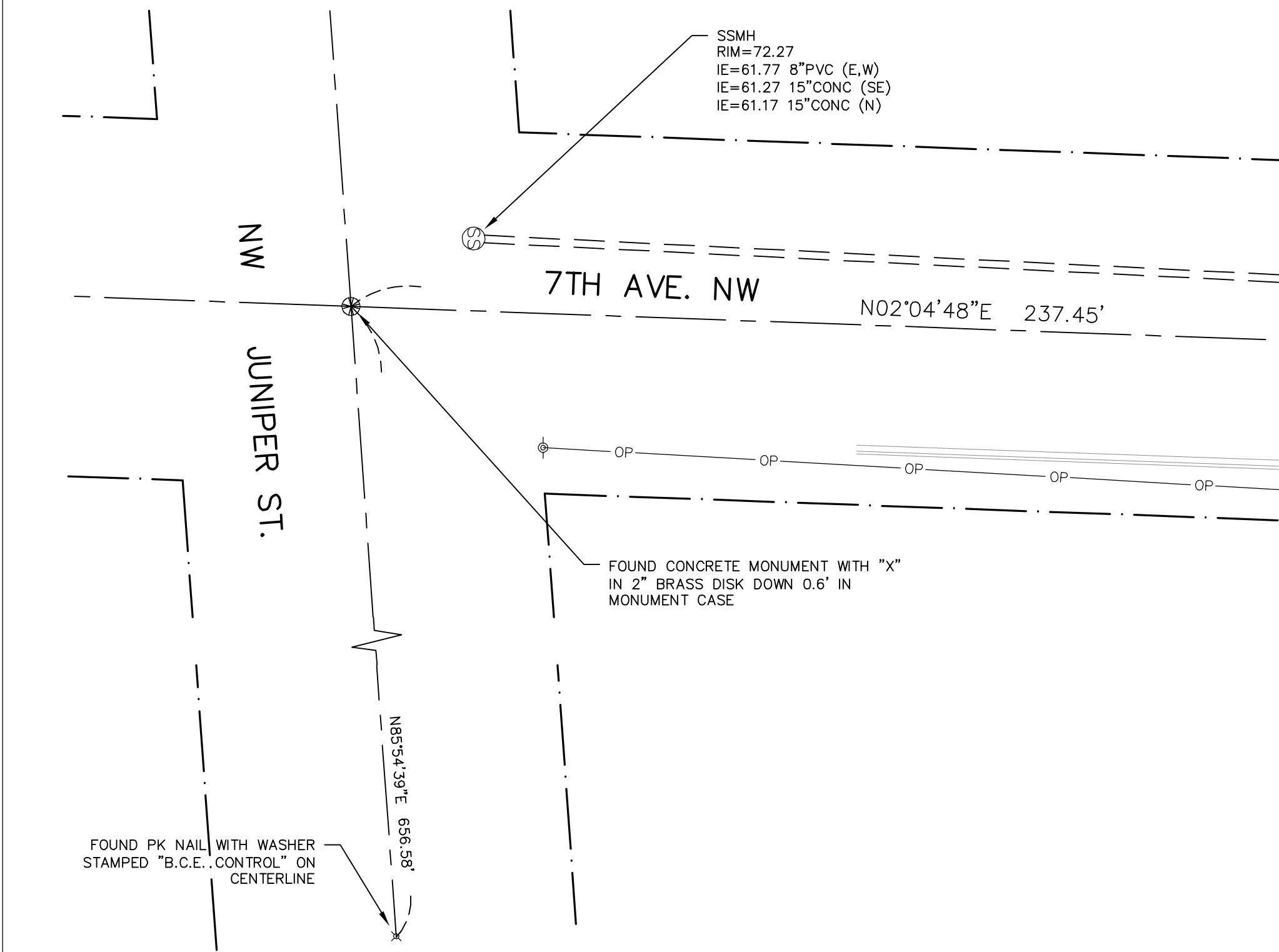
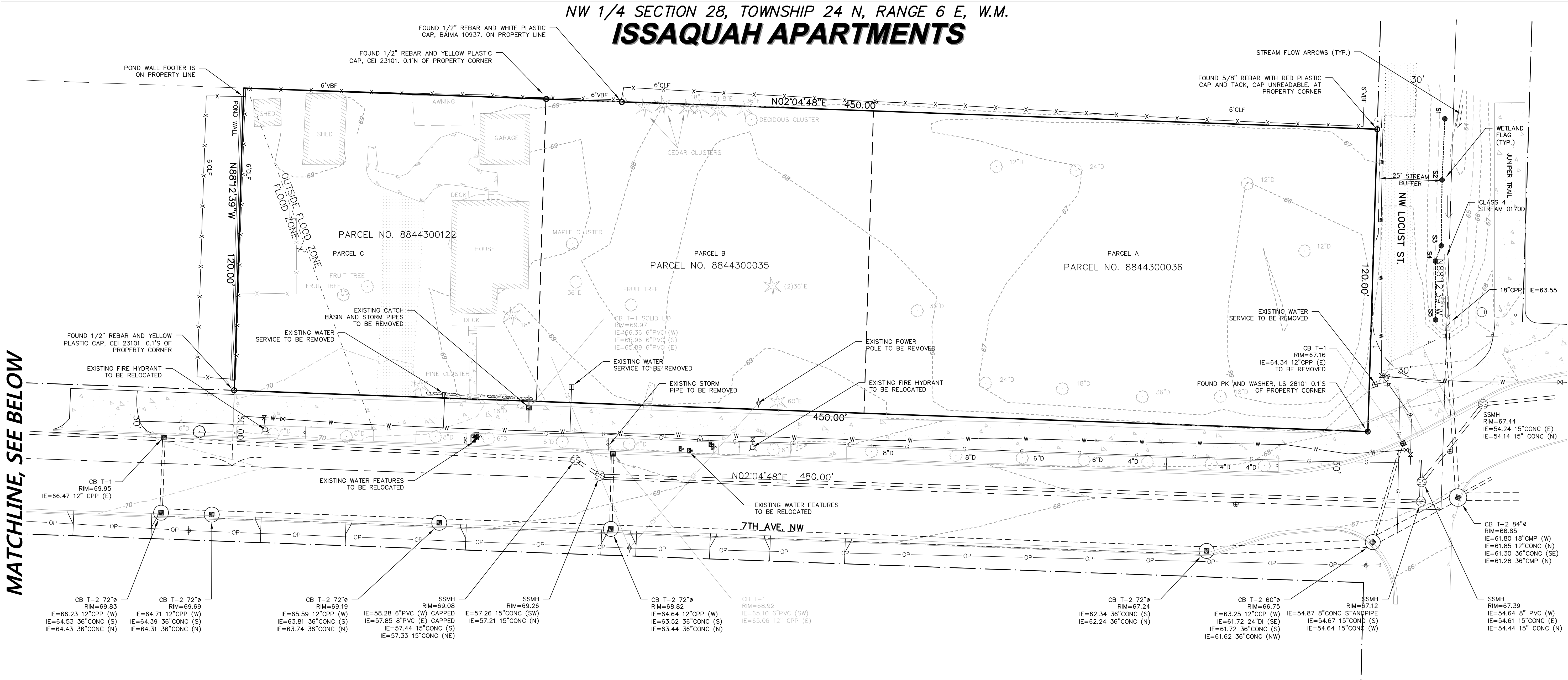
SHEET TITLE:

### SDP COVER SHEET

ISSUE: SITE DEVELOPMENT PERMIT

# G0.01

MATCHLINE, SEE BELOW



MATCHLINE, SEE ABOVE

# NW 1/4 SECTION 28, TOWNSHIP 24 N, RANGE 6 E, W.M. ISSAQUAH APARTMENTS

## LEGAL DESCRIPTION:

PARCEL A:  
THE NORTH 200 FEET OF LOT 1, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.

PARCEL B:  
LOT 1, LESS THE NORTH 200 FEET THEREOF, AND THE NORTH 30 FEET OF LOT 15, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.

SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

PARCEL C:  
THE SOUTH 60 FEET OF THE NORTH 150 FEET OF LOT 15 IN BLOCK 2 AND THE SOUTH 60 FEET OF THE NORTH 90 FEET OF LOT 15 IN BLOCK 2 OF H.S. UPPER'S THIRD ADDITION TO ISSAQUAH, AS PER PLAT RECORDED IN VOLUME 21 OF PLATS, PAGE 56, RECORDS OF KING COUNTY, WASHINGTON.

## TITLE RESTRICTIONS:

- AFFECTS PARCELS A AND B
- THIS SITE IS SUBJECT TO THE EXCEPTIONS AND RESERVATION CONTAINED IN THE DEED RECORDED UNDER RECORDING NUMBER 2020941.
  - THIS SITE IS SUBJECT TO THE EXCEPTIONS AND RESERVATION CONTAINED IN THE DEED RECORDED UNDER RECORDING NUMBER 3526103.
  - THIS SITE IS SUBJECT TO ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE SURVEY RECORDED UNDER RECORDING NUMBER 9003099012.
  - THIS SITE IS SUBJECT TO ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE SURVEY RECORDED UNDER RECORDING NUMBER 9810269007.

AFFECTS PARCEL C

- THIS SITE IS SUBJECT TO THE RESERVATION CONTAINED IN THE DEED RECORDED UNDER RECORDING NUMBER 1200138.
- THIS SITE IS SUBJECT TO MATTERS DISCLOSED BY THE SURVEY BY PLS INC. DATED AUGUST 13, 2015 AND AMENDED SEPTEMBER 30, 2015, UNDER JOB NO. 15099.

## REFERENCES:

- RECORD OF SURVEY RECORDED UNDER RECORDING NUMBER 9810269007.
- RECORD OF SURVEY RECORDED UNDER RECORDING NUMBER 9601169002.
- RECORD OF SURVEY RECORDED UNDER RECORDING NUMBER 9003099012.

## BASIS OF BEARINGS:

NAD 83/2011 EPOCH 2010; N107°4'32"W BETWEEN THE MONUMENT FOUND AT THE INTERSECTION OF NW JUNIPER WAY AND THE CORNER MONUMENT FOUND AT THE NORTHWEST PROPERTY CORNER AS DETERMINED BY GPS OBSERVATION

## SURVEYOR'S NOTES

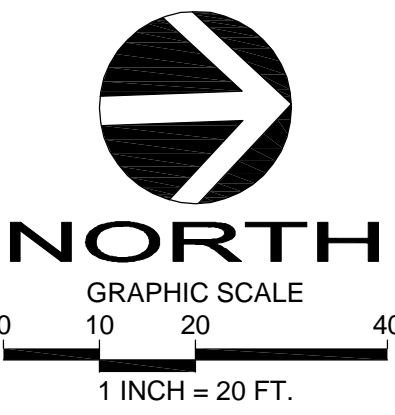
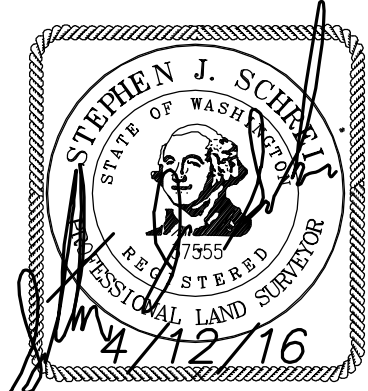
- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT ORDER NUMBER 0045245-04 DATED JULY 20, 2015 AND SUPPLEMENTAL COMMITMENTS NUMBER 1 AND 2 THERETO DATED JULY 28, 2015 AND OCTOBER 16, 2015 RESPECTIVELY AS TO PARCEL A AND B AND CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT ORDER NUMBER 0045808-04 DATED JULY 17, 2015 AND SUPPLEMENTAL COMMITMENTS NUMBER 1, 2 AND 3 THERETO DATED JULY 29, 2015, JULY 30, 2015 AND OCTOBER 16, 2015 RESPECTIVELY AS TO PARCEL C. IN PREPARING THIS MAP, D.R. STRONG CONSULTING ENGINEERS INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS D.R. STRONG CONSULTING ENGINEERS INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY REFERENCED CHICAGO TITLE INSURANCE COMPANY COMMITMENTS. D.R. STRONG CONSULTING ENGINEERS INC. HAS RELIED WHOLLY ON CHICAGO TITLE COMPANY REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE D.R. STRONG CONSULTING ENGINEERS INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- TOPOGRAPHIC AND EXISTING IMPROVEMENTS SHOWN HEREON ARE BASED ON THE ALTA/ASOM LAND SURVEY PREPARED BY PLS INC. PROJECT NO. 15099 AND FIELD VERIFIED BY D.R. STRONG CONSULTING ENGINEERS INC. IN OCTOBER, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN OCTOBER, 2015.
- PROPERTY AREAS AS FOLLOWS:  
PARCEL A PROPERTY AREA = 24,000± SQUARE FEET (0.5510± ACRES)  
PARCEL B PROPERTY AREA = 15,600± SQUARE FEET (0.3581± ACRES)  
PARCEL C PROPERTY AREA = 14,400± SQUARE FEET (0.3306± ACRES)  
TOTAL PROPERTY AREA = 54,000± SQUARE FEET (1.2397± ACRES).
- ALL DISTANCES ARE IN FEET.
- THIS IS A COMBINED FIELD TRAVERSE AND GLOBAL POSITIONING SYSTEM SURVEY. A LEICA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION AND A LEICA SERIES 1200 GLOBAL POSITIONING SYSTEM WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. D.R. STRONG CONSULTING ENGINEERS INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

## VERTICAL DATUM:

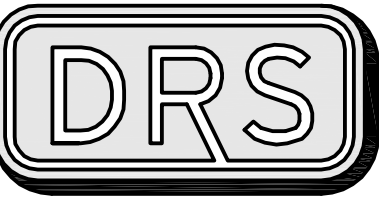
NAVD 88 PER KCDPWSB (KING COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY BRANCH) VERTICAL CONTROL

## BENCHMARK:

KCDPWSB BENCHMARK D18, FOUND 3" BRASS DISK STAMPED "KING COUNTY KC-D-18 SET IN THE CONCRETE PLANTER ISLAND AT THE INTERSECTION OF FRONT STREET N. AND RAINIER BOULEVARD ELEVATION = 96.69 FEET.



Call 2 Working Days Before You Dig  
**811**  
Utilities Underground Location Center  
(ID.MT.ND.OR.WA)



**D.R. STRONG**  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS  
620 - 7th AVENUE KIRKLAND, WA 98033  
O 425.827.3063 F 425.827.2423

ISSAQUAH APARTMENTS

EXISTING SITE SURVEY  
SITE DEVELOPMENT PERMIT SUBMITTAL  
ISSAQUAH PROJECT NUMBER PRE16-00001  
945 AND 955 7TH AVENUE NW

ISSY 7TH AVE, LLC

9675 SE 36TH STREET, SUITE 105  
MERCER ISLAND, WASHINGTON 98040  
(206) 588-1147



APR

REVISION

DATE

DRAFTED BY: YLP  
DESIGNED BY: YLP  
PROJECT ENGINEER: MAJ  
DATE: 04.12.16  
PROJECT NO.: 15100

DRAWING: C1  
SHEET: 1 OF 5



NW 1/4 SECTION 28, TOWNSHIP 24 N, RANGE 6 E, W.M.  
**ISSAQUAH APARTMENTS**



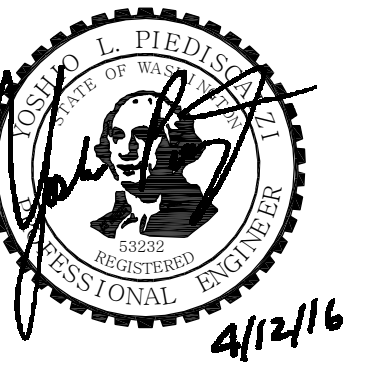
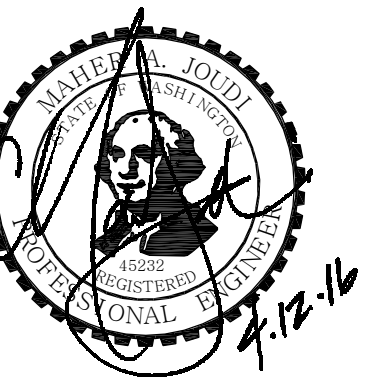
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CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS  
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O 425.827.3063 F 425.827.2423

**ISSAQUAH APARTMENTS**

ROAD PLAN  
SITE DEVELOPMENT PERMIT SUBMITTAL  
ISSAQUAH PROJECT NUMBER PRE16-00001  
945 AND 955 7TH AVENUE NW

**ISSY 7TH AVE, LLC**

9675 SE 36TH STREET, SUITE 105  
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(206) 588-1147



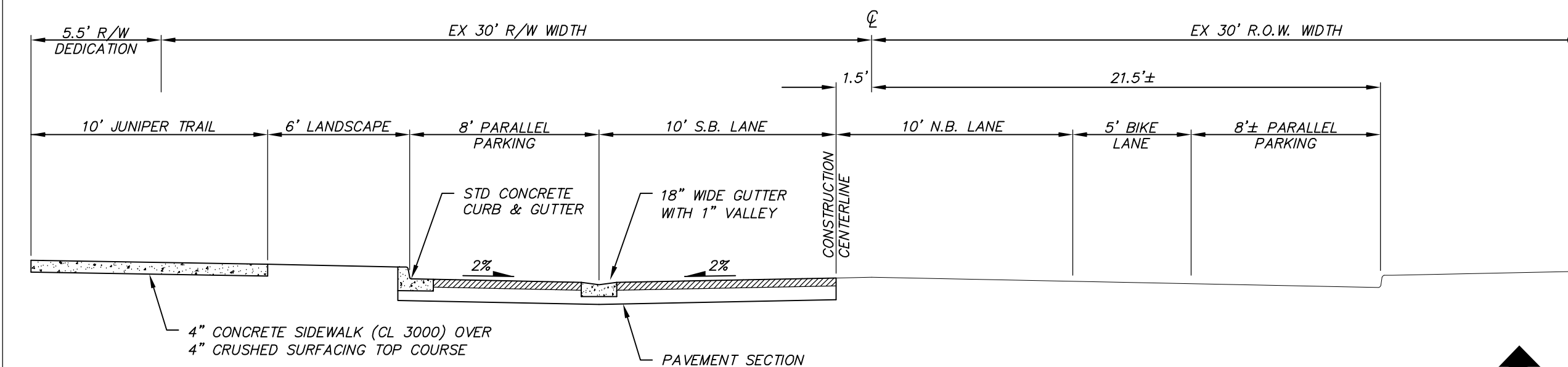
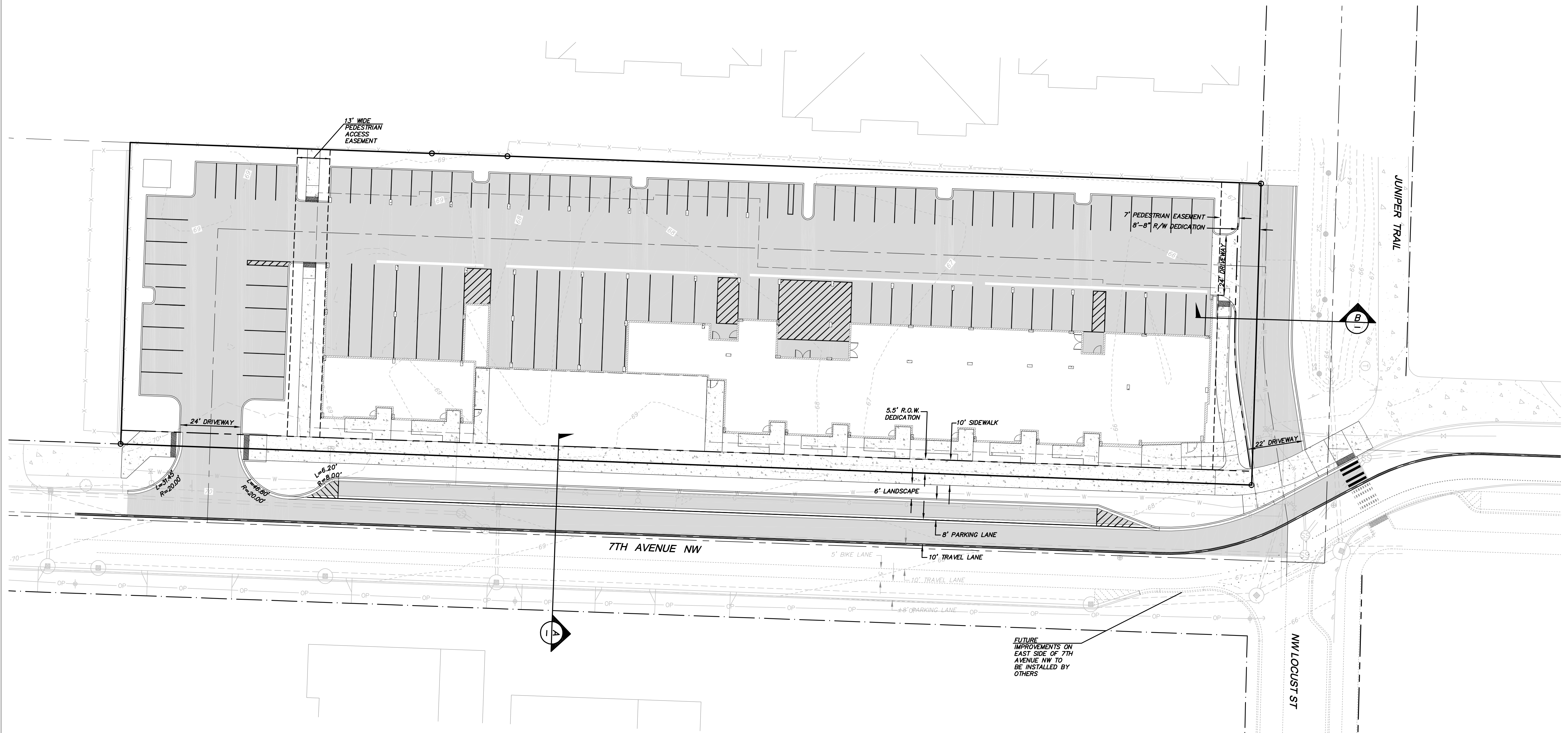
APR

REVISION

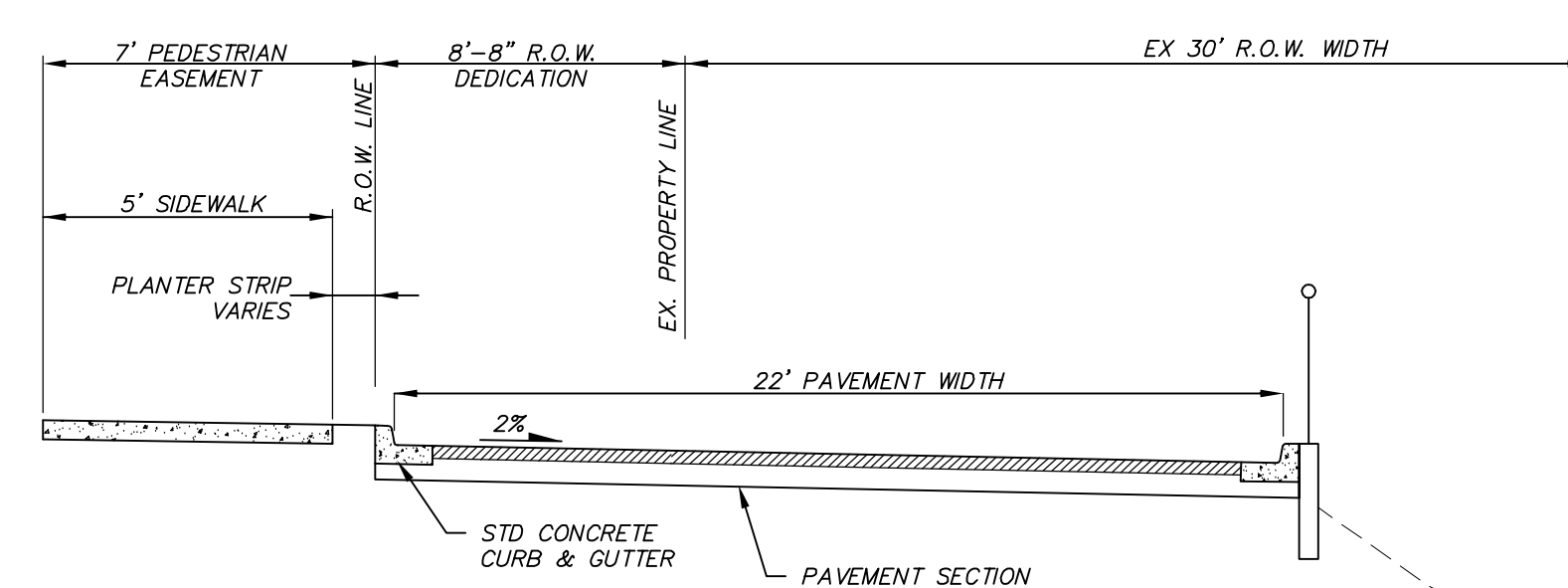
DATE

DRAFTED BY: YLP  
DESIGNED BY: YLP  
PROJECT ENGINEER: MAJ  
DATE: 04.12.16  
PROJECT NO.: 15100

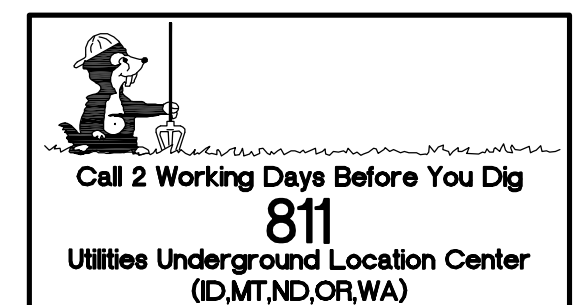
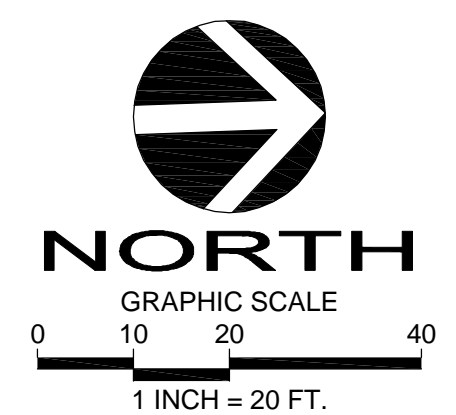
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SHEET: 2 OF 5



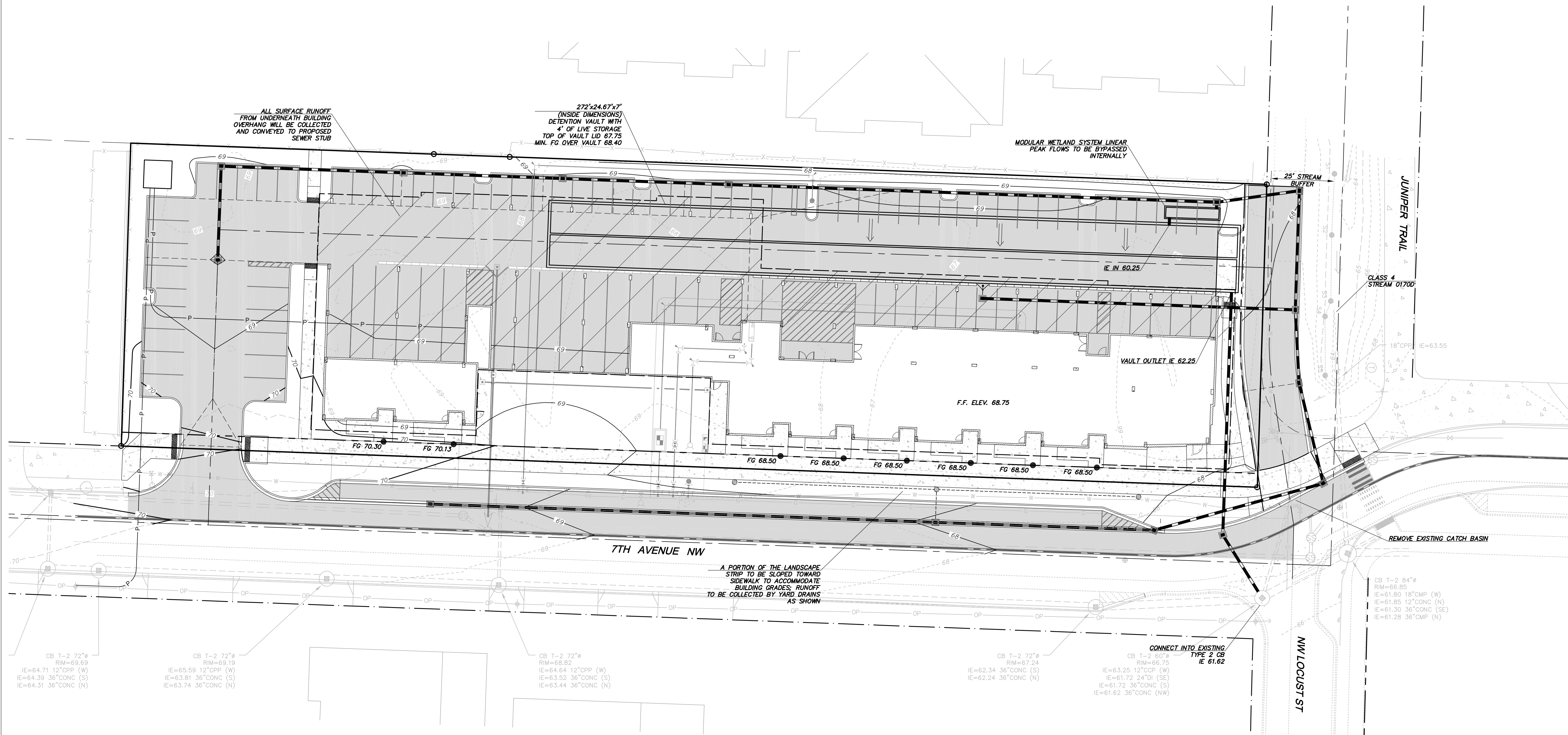
**7TH AVENUE STREET IMPROVEMENTS**  
NTS



**NW LOCUST STREET IMPROVEMENTS**  
NTS



## ISSAQUAH APARTMENTS



## STORM CONVEYANCE NOTE:

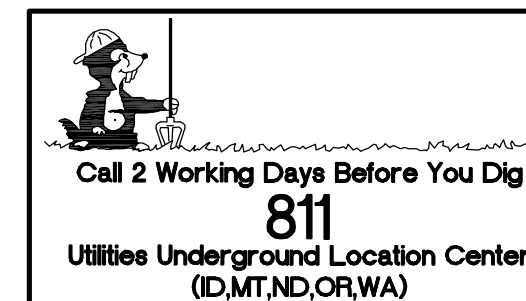
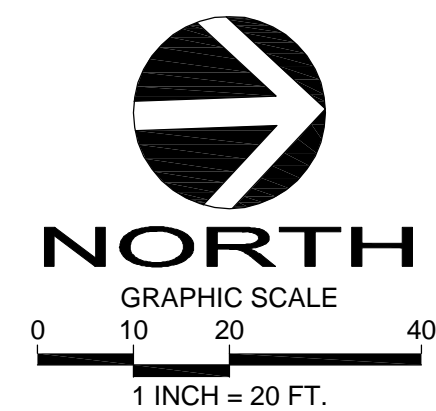
ALL PROPOSED STORM PIPES ARE CURRENTLY SHOWN AS 12-INCH. FINAL SIZING AND ANALYSIS WILL BE PROVIDED DURING THE CONSTRUCTION PLAN SUBMITTAL.

## 100-YEAR OVERFLOW NOTE:

1. DUE TO THE PROXIMITY OF 100-YEAR FLOODPLAIN TO THE EAST OF THE SITE, A BACKWATER VALVE WILL BE INSTALLED ON THE OUTLET CONTROL STRUCTURE OF THE VAULT.
2. ALL STORM PIPES WILL BE SIZED TO CONVEY THE 100-YEAR STORM.

## DETENTION SUMMARY SHEET

RETURN PERIOD	STAGE EL.	LIVE STORAGE REQUIRED	VOLUME PROVIDED	AS-BUILT
TOTAL	66.25	25,930	26,112	
100 YEAR	66.37	26,682	26,895	
25 YEAR	66.24	25,839	26,046	
10 YEAR	66.16	25,321	25,524	
2 YEAR	64.42	14,081	14,163	



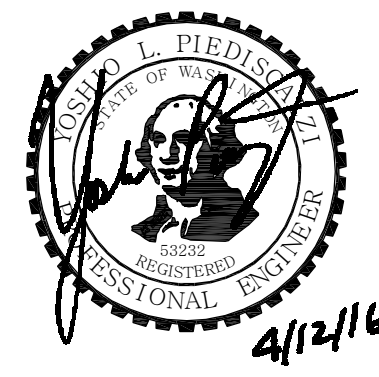
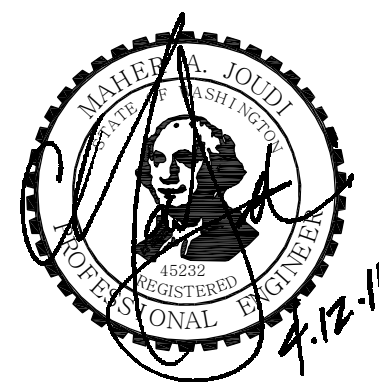
**D.R. STRONG**  
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ENGINEERS PLANNERS SURVEYORS  
620 - 7TH AVENUE KIRKLAND, WA 98033  
O 425.827.3063 F 425.827.2423

ISSAQUAH APARTMENTS

GRADING AND STORMWATER PLAN  
SITE DEVELOPMENT PERMIT SUBMITTAL  
ISSAQUAH PROJECT NUMBER PRE16-00001  
945 AND 955 7TH AVENUE NW

ISSY 7TH AVE, LLC

9675 SE 36TH STREET, SUITE 105  
MERCER ISLAND, WASHINGTON 98040  
(206) 588-1147



APR

REVISION

DATE

DRAFTED BY: YLP  
DESIGNED BY: YLP  
PROJECT ENGINEER: MAJ  
DATE: 04.12.16  
PROJECT NO.: 15100

DRAWING: C3  
SHEET: 3 OF 5



NW 1/4 SECTION 28, TOWNSHIP 24 N, RANGE 6 E, W.M.  
**ISSAQUAH APARTMENTS**



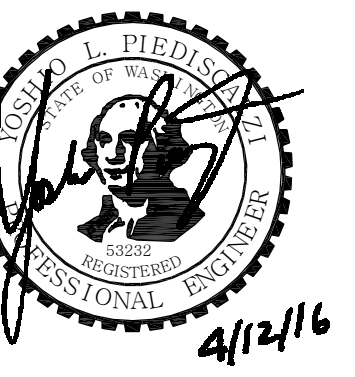
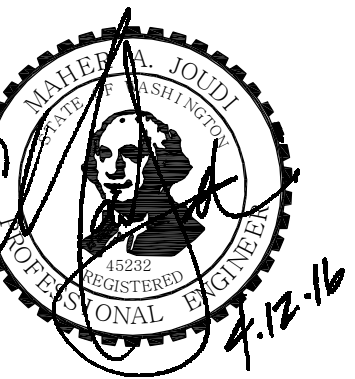
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O 425.827.3063 F 425.827.2423

**ISSAQUAH APARTMENTS**

COMPOSITE UTILITY PLAN  
SITE DEVELOPMENT PERMIT SUBMITTAL  
ISSAQUAH PROJECT NUMBER PRE16-00001  
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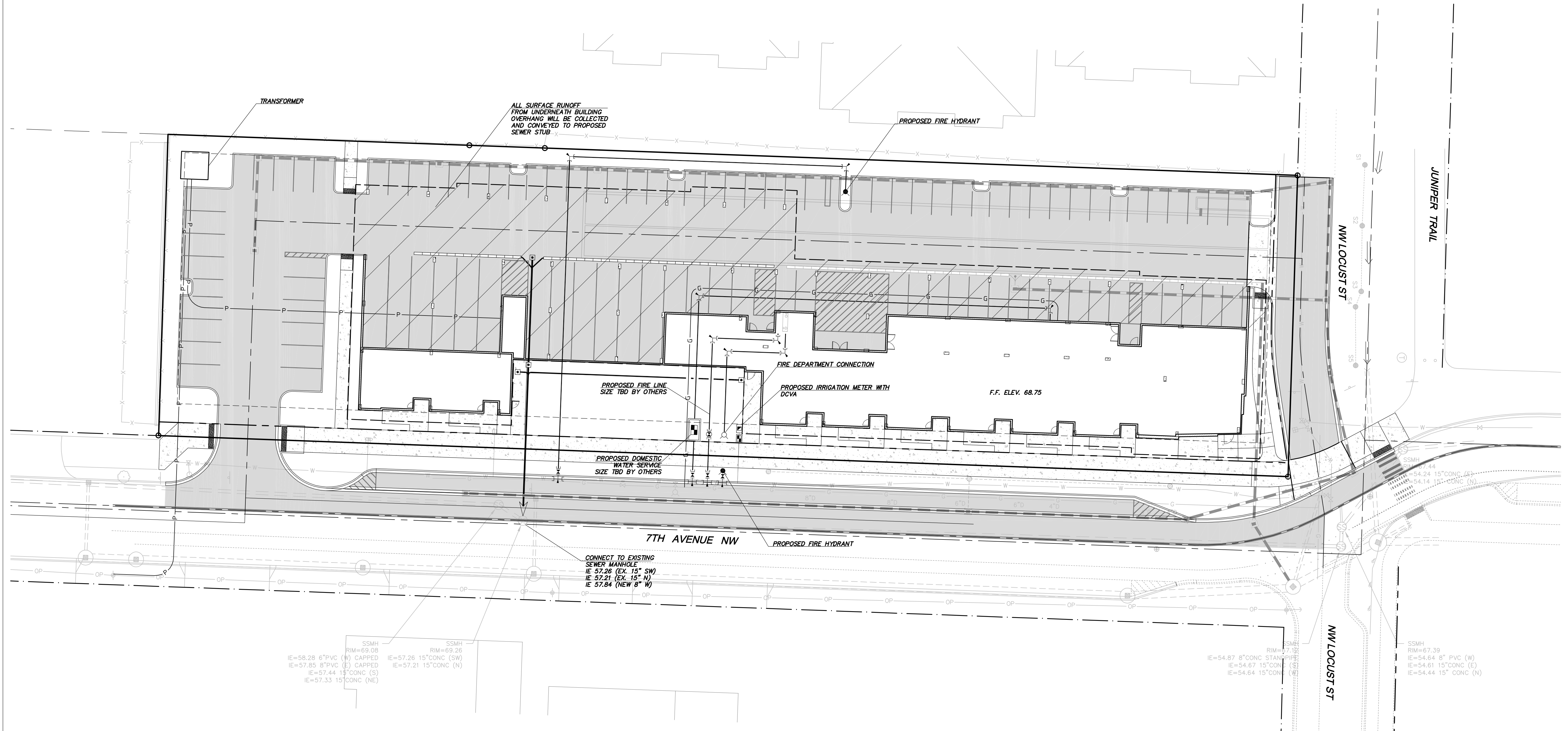
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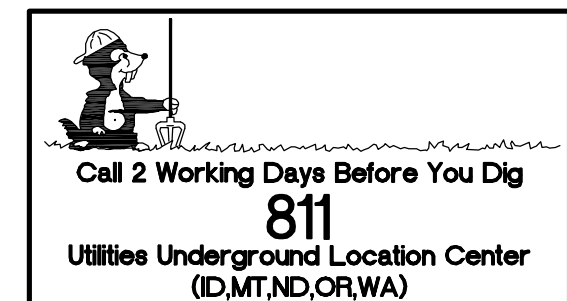
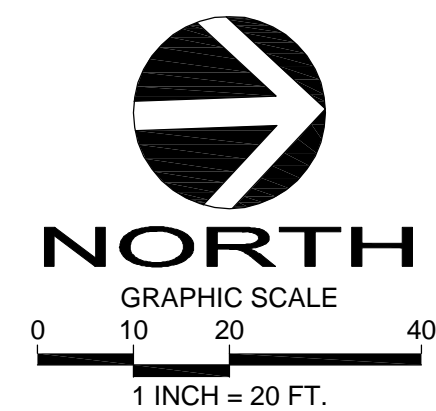
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DRAFTED BY: YLP  
DESIGNED BY: YLP  
PROJECT ENGINEER: MAJ  
DATE: 04.12.16  
PROJECT NO.: 15100

DRAWING: C4  
SHEET: 4 OF 5



**NOTE:**  
CITY OF ISSAQUAH WATER AND SEWER



ISSAQUAH APARTMENTS

DRS

D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS  
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O 425.827.3063 F 425.827.2423

ISSAQUAH APARTMENTS

SITE DISTANCE EXHIBIT  
SITE DEVELOPMENT PERMIT SUBMITTAL  
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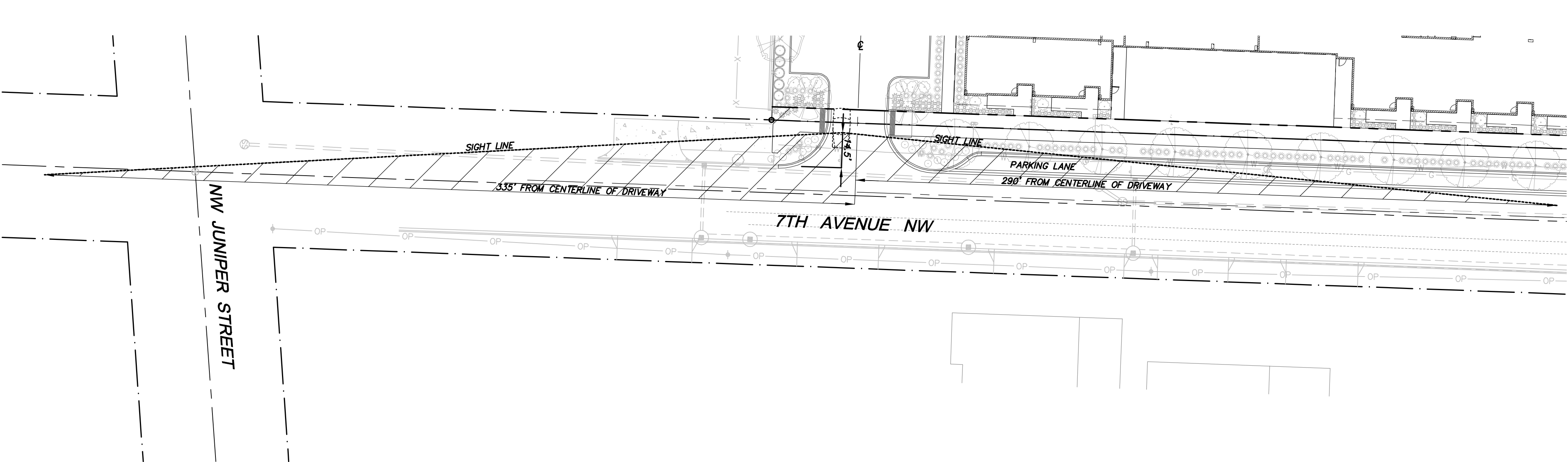
Professional Engineer  
4/12/16

Professional Engineer  
4/12/16

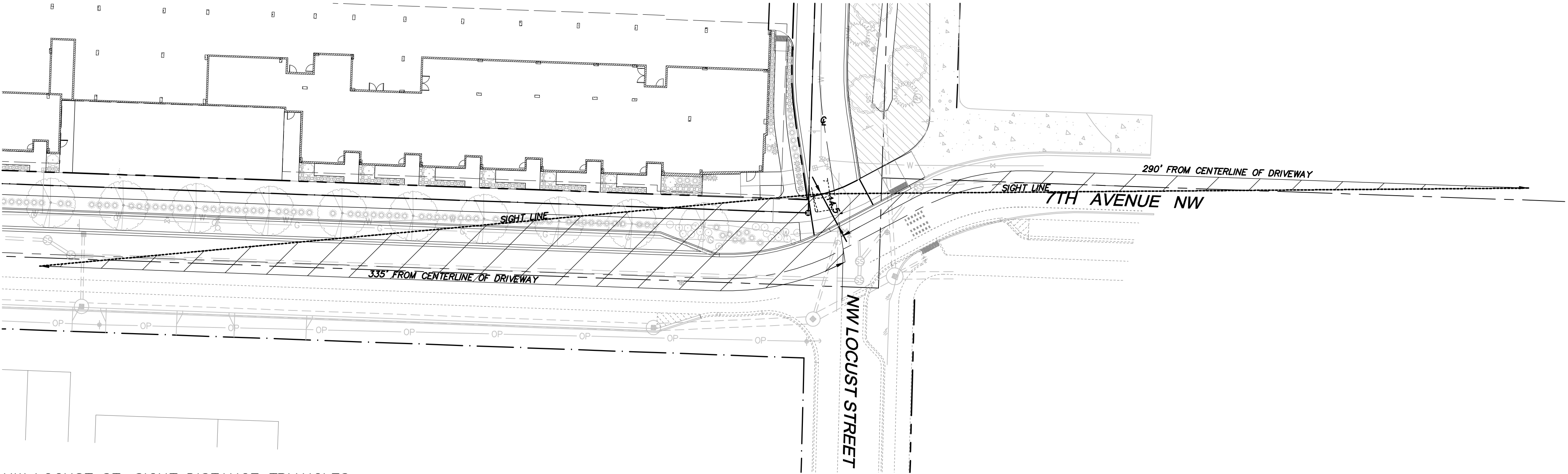
DATE	REVISION	APR

DRAFTED BY: YLP  
DESIGNED BY: YLP  
PROJECT ENGINEER: MAJ  
DATE: 04.12.16  
PROJECT NO.: 15100

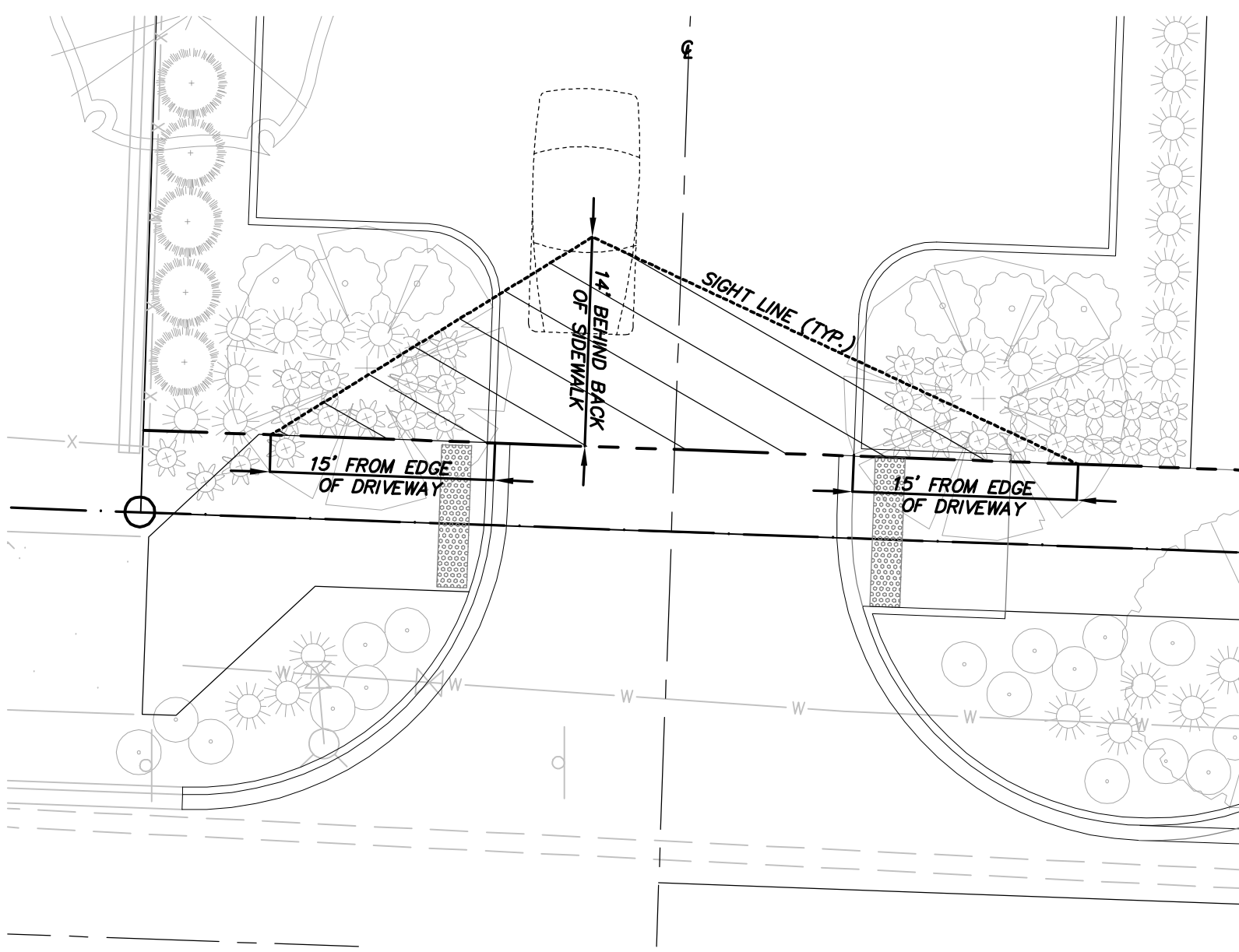
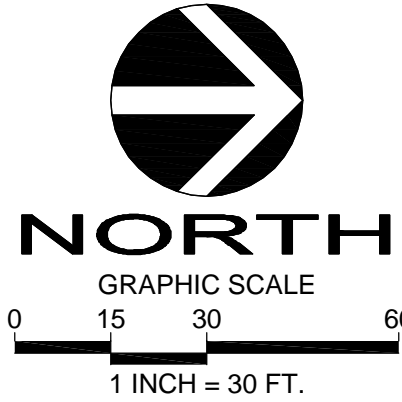
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SHEET: 5 OF 5



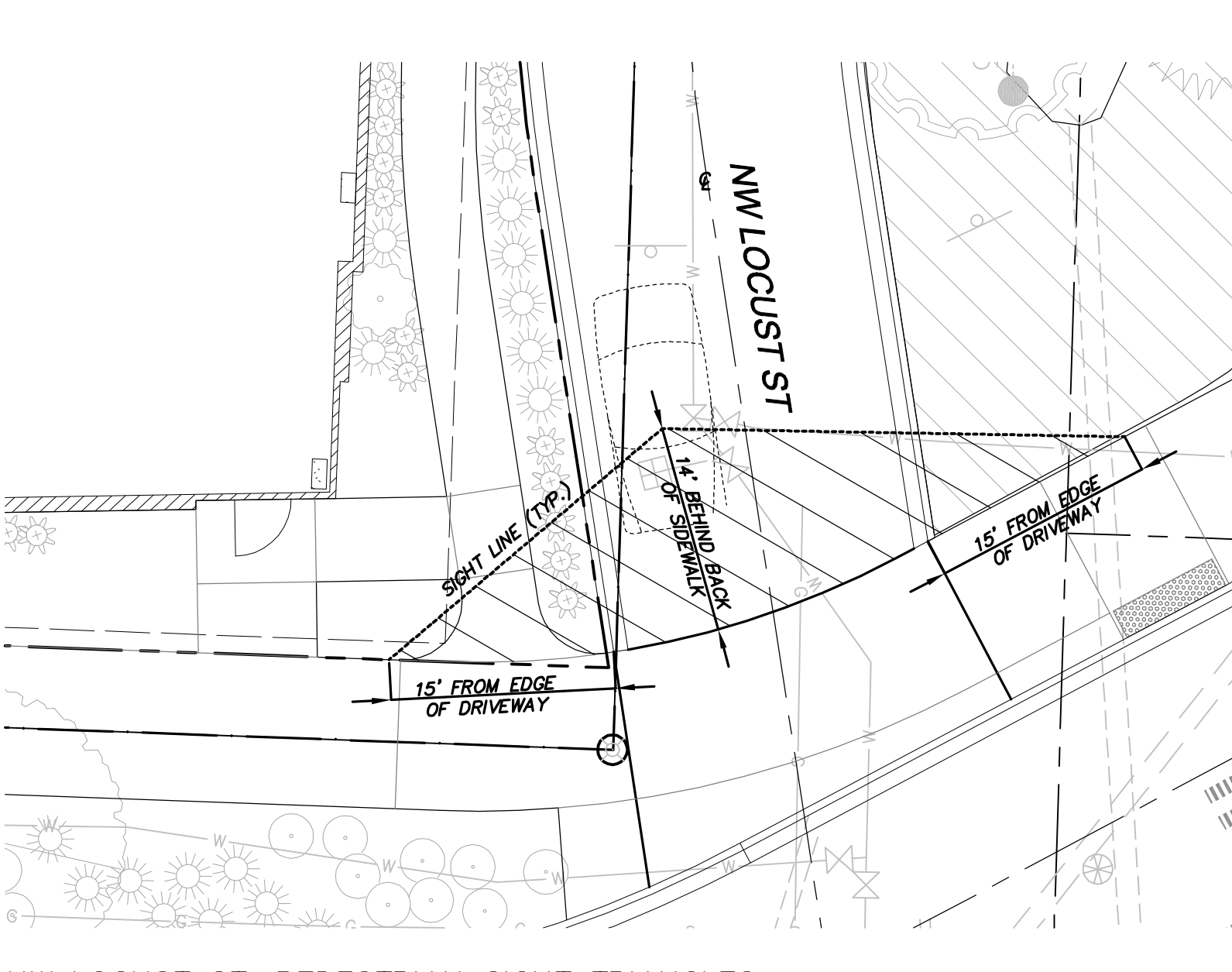
DRIVEWAY SIGHT DISTANCE TRIANGLES:



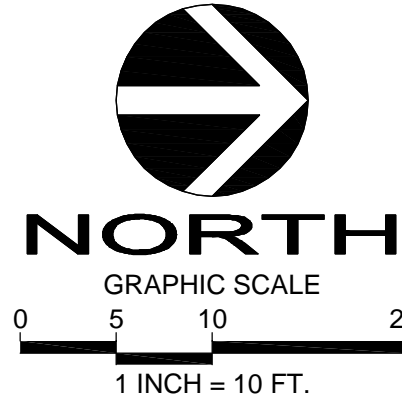
NW LOCUST ST. SIGHT DISTANCE TRIANGLES:



DRIVEWAY PEDESTRIAN SIGHT TRIANGLES:

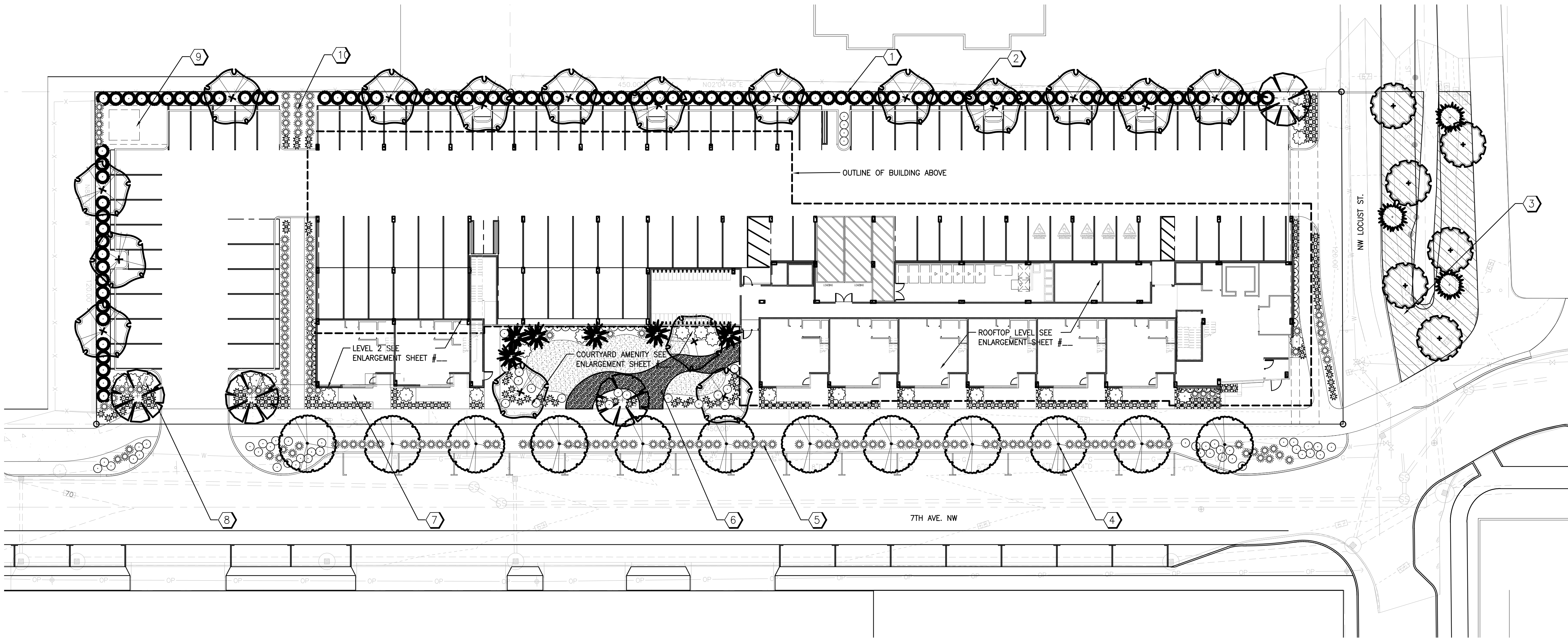


NW LOCUST ST. PEDESTRIAN SIGHT TRIANGLES:



Call 2 Working Days Before You Dig  
811  
Utilities Underground Location Center  
(ID.MT,ND,OR,WA)





PRELIMINARY LANDSCAPE LEGEND

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	SPACING	NATIVE	DROUGHT TOLERANT	REMARKS
TREES								
	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAN	2.5" CAL.	B&B	PER PLAN		YES	
	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2" CAL.	B&B	PER PLAN		YES	
	CORNUS 'EDDIE'S WHITE WONDER'	HYBRID WHITE DOGWOOD	2" CAL.	B&B	PER PLAN		YES	
	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6' HT.	B&B	PER PLAN		YES	
	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	6' HT.	B&B	PER PLAN		YES	
SHRUBS								
	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE ABELIA	2 GAL.	CONT.	3' O.C.		YES	
	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY TREE	30" HT.	CONT.	4' O.C.		YES	
	AZALEA 'GIRARD'S FUSCHIA'	GIRARD'S FUSCHIA EVERGREEN AZALEA	2 GAL.	CONT.	3' O.C.		YES	
	CAMELLIA JAPONICA 'COLONIAL FIREY'	COLONIAL FIREY CAMELLIA	5 GAL.	CONT.	PER PLAN			
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET VIRGINIA SWEET SPIRE	5 GAL.	CONT.	4' O.C.		YES	
	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	2 GAL.	CONT.	PER PLAN			
	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	1 GAL.	CONT.	PER PLAN		YES	
	PIERIS 'CAVATINE'	CAVATINE DWARF JAPANESE PIERIS	2 GAL.	CONT.	2'-6" O.C.		YES	
GRASSES, GROUNDCOVERS & VINES								
	CALAMAGROSIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	2 GAL.	CONT.	18" O.C.		YES	
	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE ORIENTAL FOUNTAIN GRASS	2 GAL.	CONT.	30" O.C.		YES	
	STIPA BRACHYTRICHA	KOREAN FEATHER REED GRASS	2 GAL.	CONT.	4' O.C.		YES	
	CLEMATIS 'MADAME JULIA CORREVEON'	MADAME JULIA CORREVEON VITICELLA CLEMATIS	2 GAL.	CONT.	PER PLAN		YES	
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL.	CONT.	2' O.C. TYP.		YES	
	LONICERA SEMPERVIRENS	TRUMPET CORAL HONEYSUCKLE	2 GAL.	CONT.	PER PLAN		YES	
NATIVE BUFFER MITIGATION								
	ACER CIRCONATUM	VINE MAPLE	6' HT.	B&B	PER PLAN	YES	YES	
	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	NOOTKA FALSE CYPRESS	6' HT.	B&B	PER PLAN	YES	YES	
	MAHONIA REPENS	CREeping OREGON GRAPE-HOLLY	1 GAL.	CONT.	2' O.C.	YES	YES	
	CORNUS SERICEA 'KELSEYII'	KELSEY DOGWOOD	1 GAL.	CONT.	PER PLAN	YES	YES	
	VACCINIUM VITIS-IDAEA	FOXBERRY	1 GAL.	CONT.	24" O.C.	YES	YES	

LEGEND:

- 1
- NEW 6' CEDAR PRIVACY FENCE ON WEST AND SOUTH PROPERTY LINE.
- 2
- EVERGREEN LANDSCAPE PLANTING TO VISUALLY BUFFER ADJACENT LAND USE.
- 3
- EXISTING STREAM BANK TO BE CLEARED OF INVASIVE SPECIES AND RE-PLANTED WITH APPROVED WOOD PERENNIAL RIPARIAN SPECIES.
- 4
- 2.5" CALIPER STREET TREES TO BE INSTALLED AT 30' O.C. LOWEST SCAFFOLDING BRANCHES TO BE MIN. 7' ABOVE GRADE FOR SIGHT DISTANCE VISIBILITY.
- 5
- LOW WATER USE NATIVE LANDSCAPE PALETTE IN PARKWAY STRIP WITH MAX 30" HT. FOR SIGHT DISTANCE VISIBILITY.
- 6
- PEDESTRIAN/BIKE ORIENTED COMMUNITY COMMON SPACE ADJACENT TO PUBLIC PATH WITH PUBLIC SEATING, BIKE RACKS AND INTERPRETIVE SIGNAGE FOR A RAIN GARDEN WITH AN ENHANCED NATIVE LANDSCAPE PALETTE.
- 7
- PRIVATE PATIOS WITH ENHANCED PAVING AND LANDSCAPE BUFFER FOR PRIVACY FROM PUBLIC PATH.
- 8
- SIGNIFICANT LAYERED LANDSCAPE BUFFER TO SCREEN PARKING STALLS.
- 9
- UTILITY CABINET
- 10
- FUTURE COMMUNITY PATH CONNECTION.

DRAWN: LP / RS  
CHECKED: RS  
PROJECT No. LA1547

SHEET TITLE:  
OVERALL LANDSCAPE PLAN

ISSUE:

L1.00

BUILDING HEIGHT FORMULA

FORMULA TO BE USED FOR BUILDING TO DETERMINE AVERAGE GRADE LEVEL:

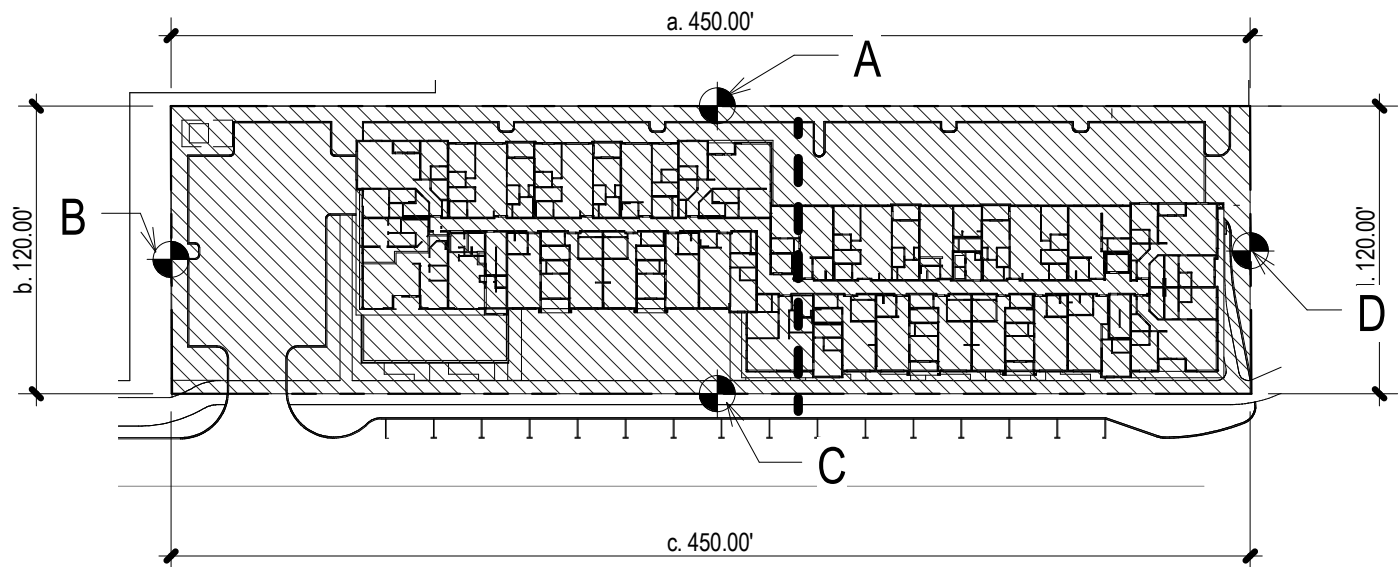
$$\frac{(A \times a) + (B \times b) + (C \times c) + (D \times d) + \dots}{a + b + c + d + \dots} = \text{AVERAGE GARDE LEVEL}$$

BUILDING HEIGHT CALCULATION:

MIDPOINT ELEV.(FT)	EXT. WALL LENGTH (FT)	MIDPOINT ELEV. X EXT. WALL LENGTH
A = 67.0	a = 450.0	A x a = 30150.00
B = 69.5	b = 120.0	B x b = 8340.00
C = 69.0	c = 450.0	C x c = 31050.00
D = 66.5	d = 120.0	D x d = 7980.00
	TOTAL= 1140.0	TOTAL= 77520.00
TOTAL ELEVATION X LENGTH ((Axa)+(Bxb)+(Cxc)+...)		= 77520.00
TOTAL LENGTH (a+b+c+...)		= 1140.00
77520.00 / 1140.00		= 68.00' AVERAGE GRADE LEVEL
68.00' + 65' ALLOWABLE HEIGHT		= 133.00' BASE HEIGHT LIMIT
133.00' + 4' ALLOWED PARAPET HEIGHT		= 137.00' PARAPET HEIGHT LIMIT

BUILDING PROPOSED TOP OF ROOF = 132.65'

REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION



PARKING REQUIREMENTS:

PARKING REQUIREMENTS (TABLE 8.10-1)			
UNIT TYPE	MIN		MAX
Studio	0.75/ Unit (<600 sf)	1/ Unit	
One Bedroom	1/ Unit	1.25 / Unit	
Two Bedroom	1 1/2 Unit	2 / Unit	
Type A Loading Space (25' x 10')	2 (>40 UNITS)		
UNIT COUNT	MIN		MAX
Studio/ Open One Bedroom (20 UNITS)	x 0.75 / UNIT = 15	x 1 / UNIT = 20	
One Bedroom (53 UNITS)	x 1 / UNIT = 53	x 1.25 / UNIT = 67	
Two Bedroom (37 UNITS)	x 1 1/2 UNIT = 57	x 2 / UNIT = 74	
PARKING REQD (BEFORE EV CREDIT) = 105 MIN		161 MAX	
ELECTRIC VEHICLE STATION CREDIT = 5			
TOTAL PARKING REQUIRED	100 MIN		161 MAX

PARKING PROPOSED:			
PARKING STALL TYPE	SIZE	TOTAL	% TOTAL
COMPACT	16'-0" x 6'-0"	63	58.2%
MICRO	12'-0" x 7'-0"	5	4.5%
STANDARD	18'-6" x 9'-0"	42	37.3%
		110	100%

ADDITIONAL PARKING REQUIREMENTS (FIGURE 8.20-1)		
SIZE	L x W	% ALLOWED
Standard	18'-6" x 9'-0"	100%
Compact	16'-0" x 8'-0"	60% MAX
Micro	12'-0" x 7'-0"	5% MAX
Parallel	20'-0" x 7'-0"	

**TANDEM PARKING (8.13.B.9)**  
Tandem parking stalls are proposed for serving multiple-bedroom dwelling units.  
Max allowed: 50% of total  
Provided: 11 / 110 = 10%

BICYCLE PARKING:		
Required :	22 (0.15 spaces / bedroom (149))	
Provided:		
TYPE	LEVEL	COUNT
BIKE RACK	LEVEL 1	42

MOTORCYCLE PARKING (8.12.A.2)		
Required:	1 per 35 of parking spaces = 36/ 110 = 3.3	
Provided:		
PARKING STALL TYPE	SIZE	TOTAL
MOTORCYCLE	10' x 5'-6"	3

**ELECTRIC VEHICLE CHARGING STATIONS (8.13.B.11)**  
May be provided to reduce parking requirements by number of stations provided; up to 5% of total parking required.  
Provided: 5 (4.5% OF TOTAL)

BARRIER FREE (8.15)		
Provide 2% of each type of parking as accessible (IBC 1106.2)		
68 x 2% = 1.36 STALLS (2 PROVIDED)		
42 x 2% = 0.84 STALLS (1 PROVIDED)		
LEVEL	TYPE	COUNT
LEVEL 1	ACCESSIBLE	3

**LOADING SPACES (TABLE 8.16-1)**  
Required: 2 Total (over 40 units)  
Provided: 2 (TYPE A)

WASTE FACILITIES

SOLID WASTE REQUIREMENTS			
UNIT COUNT	CLASS	MIN (CU. YD.)*	MAX (CU. YD.)** PROVIDED (CU. YD.)
(20) STUDIOS	SINGLE	20	30
(53) 1 BEDROOM	SINGLE	53	79.5
(37) 2 BEDROOMS	FAMILY	55.5	74
TOTAL/MONTH		128.5	183.5
TOTAL/WEEK (x 25)		32.1	45.9
SOLID WASTE BY CATEGORY/WEEK	MIN	MAX	TOTAL
FOOD WASTE (25%)	8	12	8
RECYCLE (37%)	12	17	12
GARBAGE (37%)	12	17	12
*SINGLE = 1 CU. YD/UNIT	**SINGLE = 1.5 CU.YD/UNIT		
FAMILY = 1.5 CU. YD/UNIT	FAMILY = 2 CU.YD/UNIT		

PROJECT INFORMATION

**PROJECT SITE**  
Site Address: 955 7th Ave NW Issaquah, WA 98027  
Tax ID #: 884430-0122, 884430-0035, 884430-0036  
Site Area: 54,000 SF (1.24 acres)  
Zoning: MUR - mixed use residential

**PRINCIPAL USES**  
Number of Residential Units: 110 Units - Multifamily Apartments  
Residential Amenity Area Prop'd: 6,500 SF - On-Grade and Two Rooftop Gardens  
1,980 SF - Lounge and Fitness Areas  
Commercial Uses Proposed: None

**PARKING / ACCESSORY USES**  
Parking Provided: 110 stalls - residential (targeted at 1.0 stalls / unit avg.)  
SEE CALCULATIONS ON SHEET A0.02

**BUILDING HEIGHT (TABLE 4.4)**  
Base Allowed: 40 feet  
Max Allowed: 65 feet  
Max Allowed to be achieved by utilizing Density Bonus Program by providing 8,100 SF affordable housing.  
SEE CALCULATIONS AND DIAGRAM ON SHEET A0.02

**FAR (4.46)**  
Base FAR: 1.25 (67,500 Sq. Ft.) / Max FAR: 2.00 (108,000 Sq. Ft.)  
Max Allowed to be achieved by utilizing Density Bonus Program by providing 8,100 SF affordable housing.  
SEE CALCULATIONS AND DIAGRAMS ON SHEET A0.03

**SETBACKS (TABLE 4.4)**  
Build to Line: 10 feet (min 60% of facade, maximum setback at street facing frontage);  
Corner Build to Line: min 60' along each facade from corner shall adhere to 'Build to Line'  
Side setback: 7 feet  
Rear Setback: 7 feet

**IMPERVIOUS SURFACE / LOT COVERAGE (TABLE 4.4)**  
R.O.W. included as Pervious Cover per Municipal Code 18.07.050.E  
Allowed: 80%  
Proposed: SEE CHART ON SHEET A0.03

LIST OF PERMITS

PERMIT TYPE	PERMIT #	DATE OF SUBMITTAL
SITE DEVELOPMENT PERMIT		APRIL 19, 2016
CLEARING AND GRADING PERMIT		TBD
DEMOLITION PERMIT		TBD
BUILDING PERMIT		TBD

IBC INFORMATION

CONSTRUCTION TYPE : 4 STORIES OF TYPE VA (WOODFRAME) OVER 1 STORY TYPE IA (CONCRETE)

PROPOSED USE: R-2 RESIDENTIAL  
A-2 ACCESSORY OCCUPANCY ON L-2 (IBC 508.2)

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PROJECT:

ISSAQUAH APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE:

4/19/2016

REVISIONS

DRAWN: NRG/ AMM  
CHECKED: NRG  
PROJECT No. 1531

SHEET TITLE:

ZONING CODE CALCULATIONS

ISSUE: SITE DEVELOPMENT PERMIT

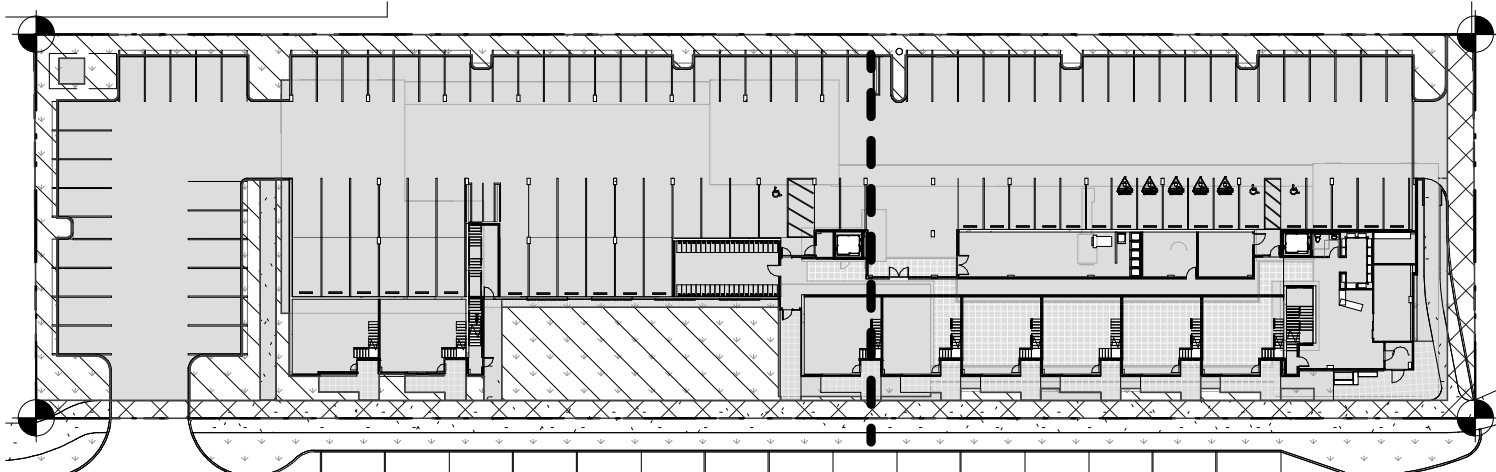
A0.02



IMPERVIOUS SURFACE / LOT COVERAGE (TABLE 4.4)

IMPERVIOUS SURFACE / LOT COVERAGE (TABLE 4.4)  
\*\* R.O.W. included as Pervious Cover per Municipal Code 18.07.050.E  
Allowed: 80%  
Proposed: SEE CHART BELOW

COVER TYPE	AREA	% TOTAL
IMPERVIOUS	42191 SF	78.1%
PERVIOUS	8349 SF	15.5%
R.O.W. DEDICATION (**PERVIOUS)	3460 SF	6.4%
	54000 SF	100.0%



Pervious Impervious Dedication

PARKING LOT LANDSCAPING (10.5A)

10.5.A LANDSCAPE FOR PARKING AREAS

10.5.A.2 INTERIOR LANDSCAPE:  
- ONE TREE FOR EACH 6 STALLS  
- LANDSCAPE AREA SHALL EQUAL 10% OF PARKING AREA

AREA  
- LANDSCAPE ISLANDS WITH TREES SHALL BE 5' MIN WIDTH

10.5.A.3 EDGE LANDSCAPE:  
- 3'-0" WIDE (MIN) EDGE LANDSCAPE REQUIRED AT ROW, CIRCULATION FACILITIES, COMMUNITY SPACES ONLY

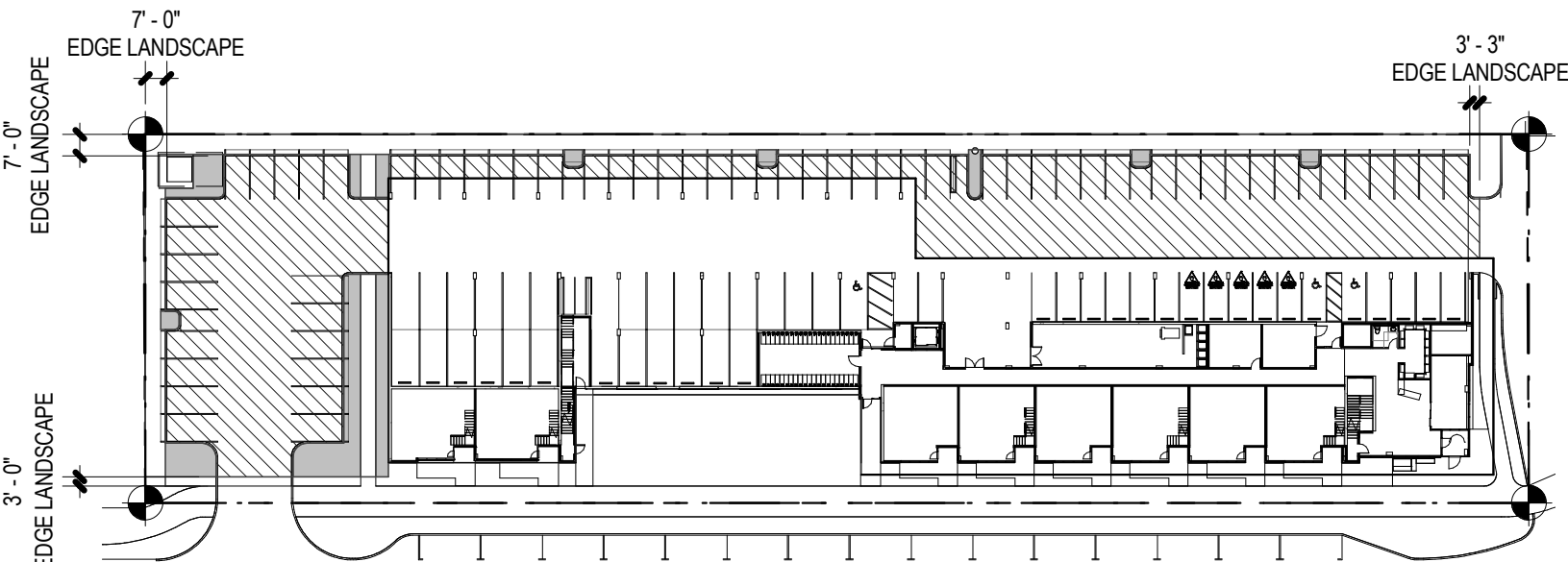
10.5.A.4 ALTERNATIVES  
c) EDGE TREATMENT - VERTICAL AREA OF ARCHITECTURAL ELEMENTS ALONG EDGE ABOVE 3' IN HEIGHT

PARKING AREA LANDSCAPING (10.5.A)

Surface Parking Area (Un-Covered)	13186 SF
Surface Parking Stalls (Un-Covered) (Ind. 22 partially covered stalls)	63
Trees Required (116 stalls)	10
Trees Provided (See Landscape Plan)	17

Interior Landscaping Required (10%) 1,319 SF

Parking Area Landscaping Provided:	
PARKING AREA LANDSCAPING	
INTERNAL LANDSCAPING	1485 SF
	1485 SF



Surface Parking Internal Parking Landscaping

FAR & DENSITY BONUS

FAR CALCULATIONS AND DENSITY BONUS - ALLOWED

Max FAR	2.00	(108,000 SF)
Base FAR	1.25	(67,500 SF)
Bonus FAR	0.75	(40,500 SF)

1/3 of 0.75 bonus (40,500 SF) = 0.25 FAR = 13,500 SF

20% of 0.25 FAR (13,500 SF) = 2,700 SF

2/3 or 0.75 bonus (40,500 SF) = 0.50 FAR = 27,000 SF

20% of 0.50 FAR (27,000 SF) = 5,400 SF

(1/3) 2,700 SF + (2/3) 5,400 SF = 8,100 SF affordable housing req'd to achieve max density bonus

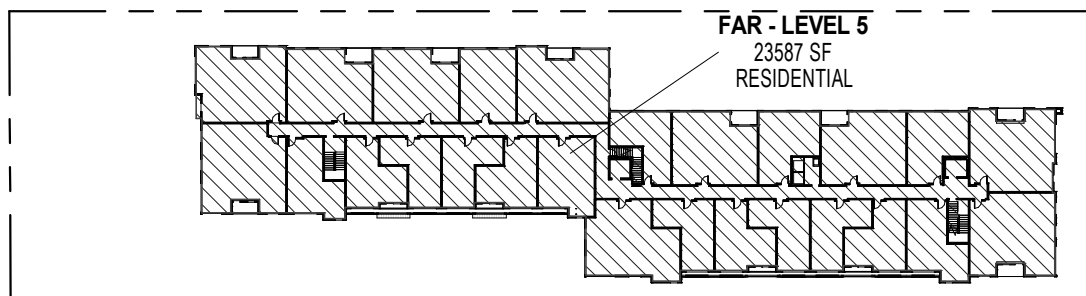
FAR CALCULATIONS AND DENSITY BONUS - PROPOSED

Total FAR proposed = 2.0 FAR (108,000 SF)

Required & Elective Public Benefits Provided  
MANDATORY - on-site affordable housing 2,700 sf (per calcs above)  
ELECTIVE - on-site affordable housing 5,400 sf (per calcs above)

PROPOSED FAR SUMMARY:

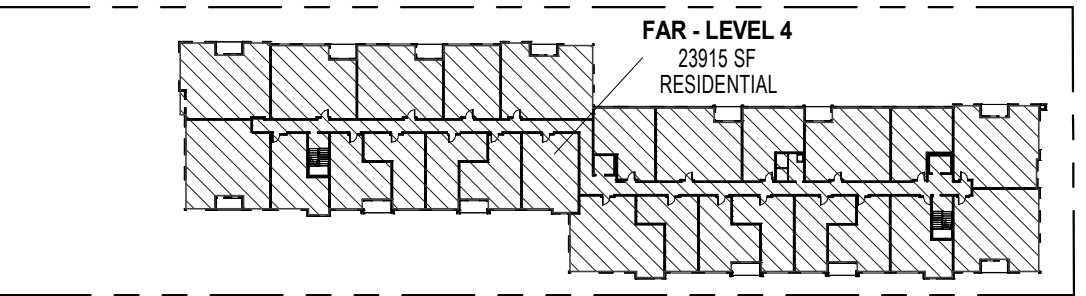
NAME	AREA
FAR - LEVEL 1	9803 SF
FAR - LEVEL MEZZ	2514 SF
FAR - LEVEL 2	23960 SF
FAR - LEVEL 3	23915 SF
FAR - LEVEL 4	23915 SF
FAR - LEVEL 5	23587 SF
FAR - LEVEL ROOF	262 SF
	107956 SF



FAR DIAGRAM - LEVEL 5

SCALE: 1" = 80'-0"

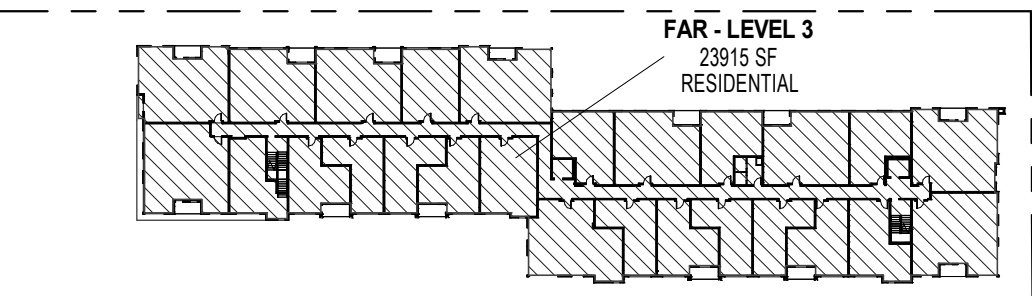
LEVEL	NAME	USE	AREA
LEVEL 5	FAR - LEVEL 5	RESIDENTIAL	23587.5 SF



FAR DIAGRAM - LEVEL 4

SCALE: 1" = 80'-0"

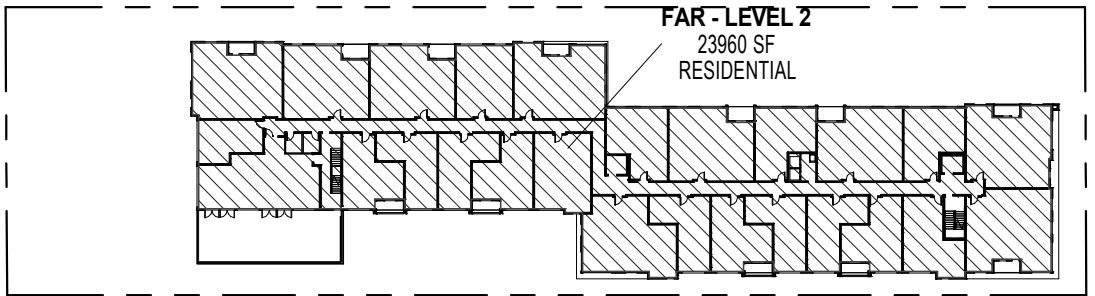
LEVEL	NAME	USE	AREA
LEVEL 4	FAR - LEVEL 4	RESIDENTIAL	23915.0 SF



FAR DIAGRAM - LEVEL 3

SCALE: 1" = 80'-0"

LEVEL	NAME	USE	AREA
LEVEL 3	FAR - LEVEL 3	RESIDENTIAL	23915.0 SF



FAR DIAGRAM - LEVEL 2

SCALE: 1" = 80'-0"

LEVEL	NAME	USE	AREA
LEVEL 2	FAR - LEVEL 2	RESIDENTIAL	23960.6 SF

COMMUNITY SPACE (7.3.A.2)

7.3.A.2 - Each residential unit to have a minimum 48 SF of private or community outdoor space, provided for individual unit or as common community space.

7.3.A.2.a - Minimum length and width of private unit decks = 6' x 8'

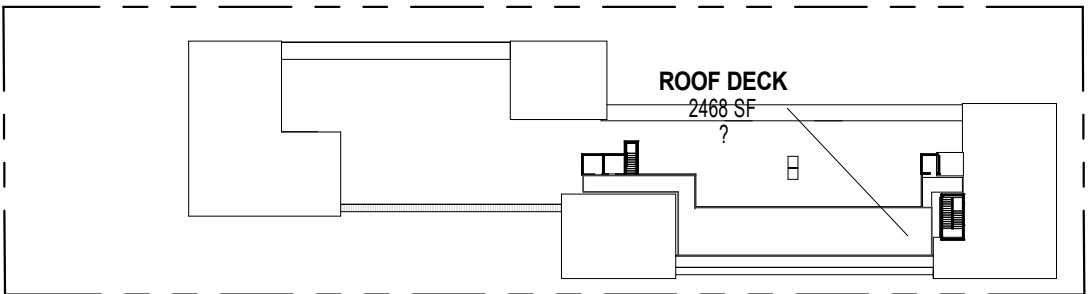
TOTAL UNITS 110  
OUTDOOR SPACE REQUIRED (UNITS x 48 SF) 5,280 SF

COMMUNITY OUTDOOR SPACE PROVIDED:

NAME	LEVEL	AREA
GROUND LEVEL COURT	LEVEL 1	2765 SF
LEVEL 2 ROOF DECK	LEVEL 2	1310 SF
ROOF DECK	LEVEL ROOF PLAN	2468 SF
		6543 SF

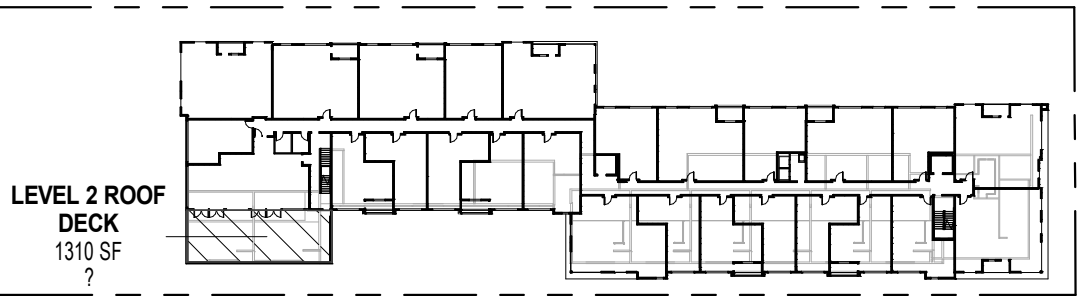
PRIVATE UNIT DECKS PROPOSED 720 SF  
APPLIED UNIT DECK COUNT (6' MIN DEPTH - 7.3.A.2.a) 12 (48 SF MIN)

TOTAL OUTDOOR SPACE PROVIDED 7,263 SF  
RESIDENT AMENITY REQUIRED 400 SF  
RESIDENT LOUNGE (1180 SF)  
FITNESS (400 SF)  
TOTAL INDOOR AMENITY PROVIDED 1,980 SF



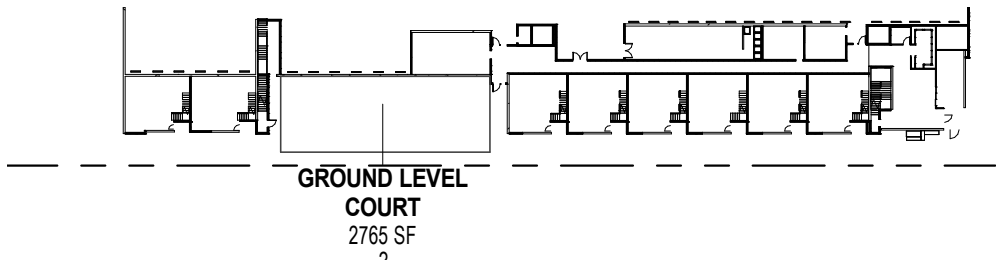
COMMUNITY SPACE- LEVEL ROOF PLAN

SCALE: 1" = 80'-0"



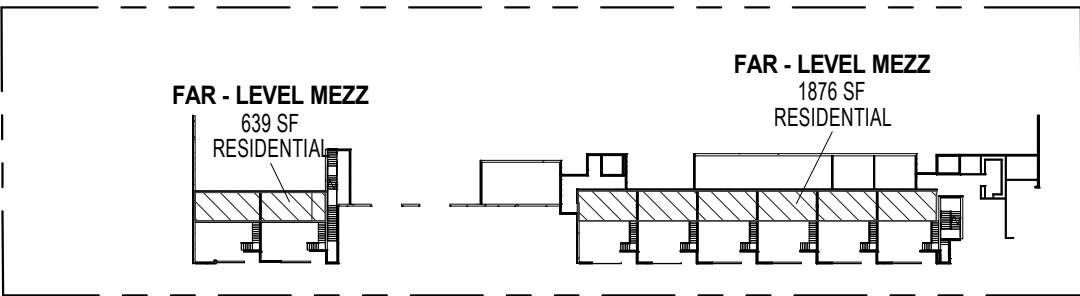
COMMUNITY SPACE- LEVEL 2 ROOF DECK

SCALE: 1" = 80'-0"



COMMUNITY SPACE- GROUND LEVEL COURT

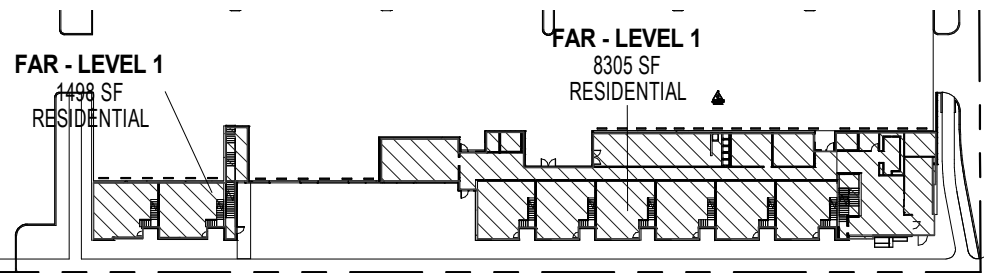
SCALE: 1" = 80'-0"



LEVEL MEZZANINE

SCALE: 1" = 80'-0"

LEVEL	NAME	USE	AREA
LEVEL MEZZANINE	FAR - LEVEL MEZZ	RESIDENTIAL	638.5 SF
LEVEL MEZZANINE	FAR - LEVEL MEZZ	RESIDENTIAL	1875.5 SF
			2514.1 SF



FAR DIAGRAM - LEVEL 1

SCALE: 1" = 80'-0"

LEVEL	NAME	USE	AREA
LEVEL 1	FAR - LEVEL 1	RESIDENTIAL	8304.9 SF
LEVEL 1	FAR - LEVEL 1	RESIDENTIAL	1497.9 SF
			9802.7 SF

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PROJECT:

ISSAQUAH APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE: 4/19/2016

REVISIONS

DRAWN: NRG/ AMM

CHECKED: NRG

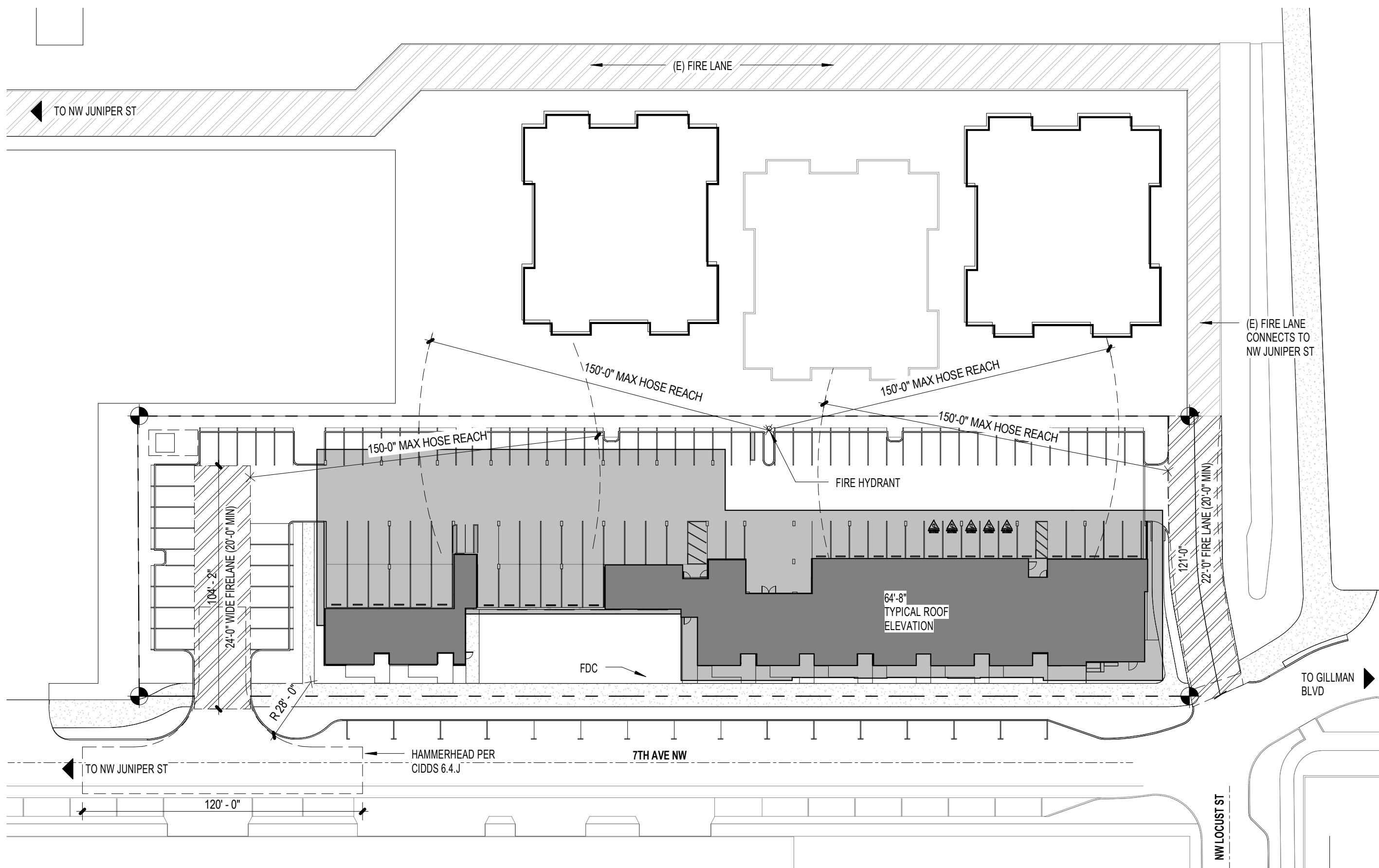
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ZONING CODE CALCULATIONS

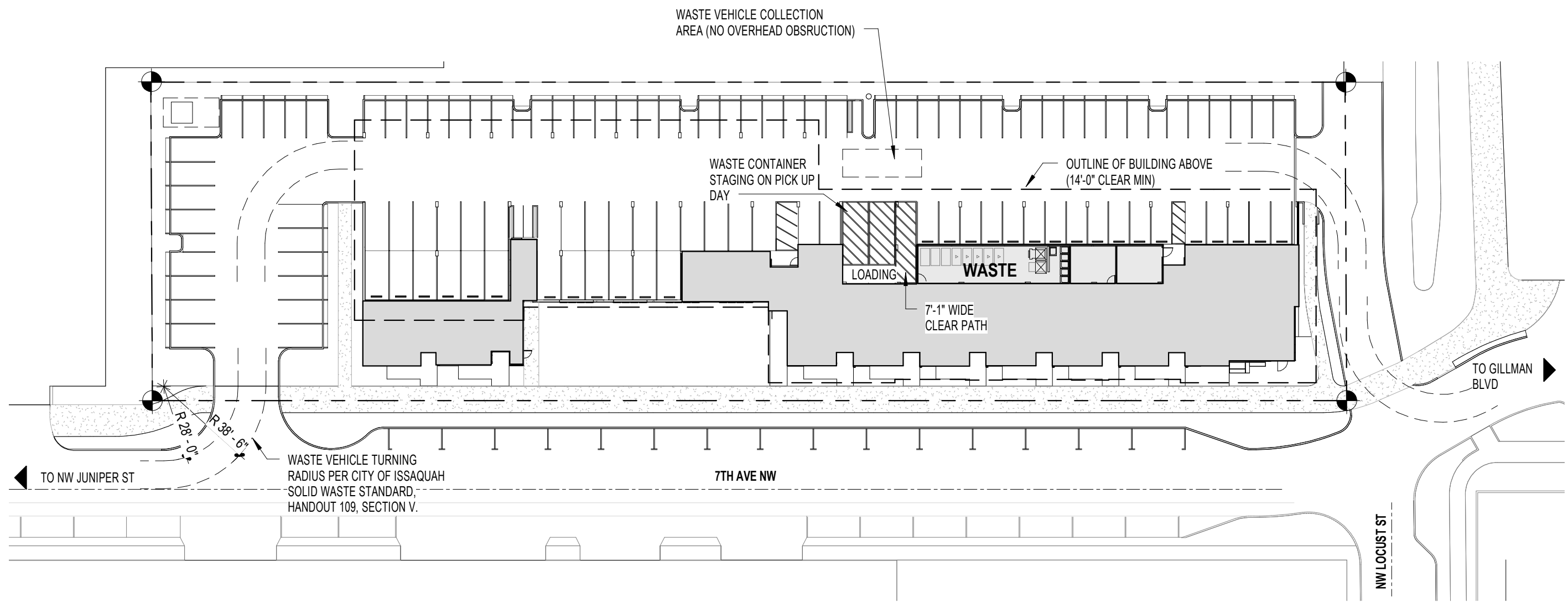
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A0.03



FIRE DEPT SITE ACCESS  
SCALE: 1" = 40'-0"

2  
A0.05



WASTE OPERATIONS  
SCALE: 1" = 40'-0"

1  
A0.05

ISSAQUAH APARTMENTS

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REVISIONS

DRAWN: NRG/ AMM  
CHECKED: NRG  
PROJECT No. 1531

SHEET TITLE:  
SITE ACCESS DIAGRAMS

ISSUE: SITE DEVELOPMENT PERMIT

A0.05



PROJECT INFORMATION

**PROJECT SITE**  
Site Address: 955 7th Ave NW Issaquah, WA 98027  
Tax ID #: 884430-0122, 884430-0035, 884430-0036  
Site Area: 64,000 SF (1.24 acres)  
Zoning: MUR - mixed use residential

**LEGAL DESCRIPTION**  
**PARCEL A:** THE NORTH 200 FEET OF LOT 1, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.  
**PARCEL B:** LOT 1, LESS THE NORTH 200 FEET THEREOF, AND THE NORTH 30 FEET OF LOT 15, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.  
**PARCEL C:** THE SOUTH 60 FEET OF THE NORTH 150 FEET OF LOT 15 IN BLOCK 2 AND THE SOUTH 60 FEET OF THE NORTH 90 FEET OF LOT 15 IN BLOCK 2 OF H.S. UPPER'S THIRD ADDITION TO ISSAQUAH, AS PER PLAT RECORDED IN VOLUME 21 OF PLATS, PAGE 56, RECORDS OF KING COUNTY, WASHINGTON.

SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

PARKING SIZE REQUIREMENTS		
MARK	SIZE	L x W
(S)	Standard	8'-6" x 9'-0"
(C)	Compact	16'-0" x 8'-0"
(M)	Micro	2'-0" x 7'-0"
(MO)	Motorcycle	10' x 5'-6"

VICINITY MAP

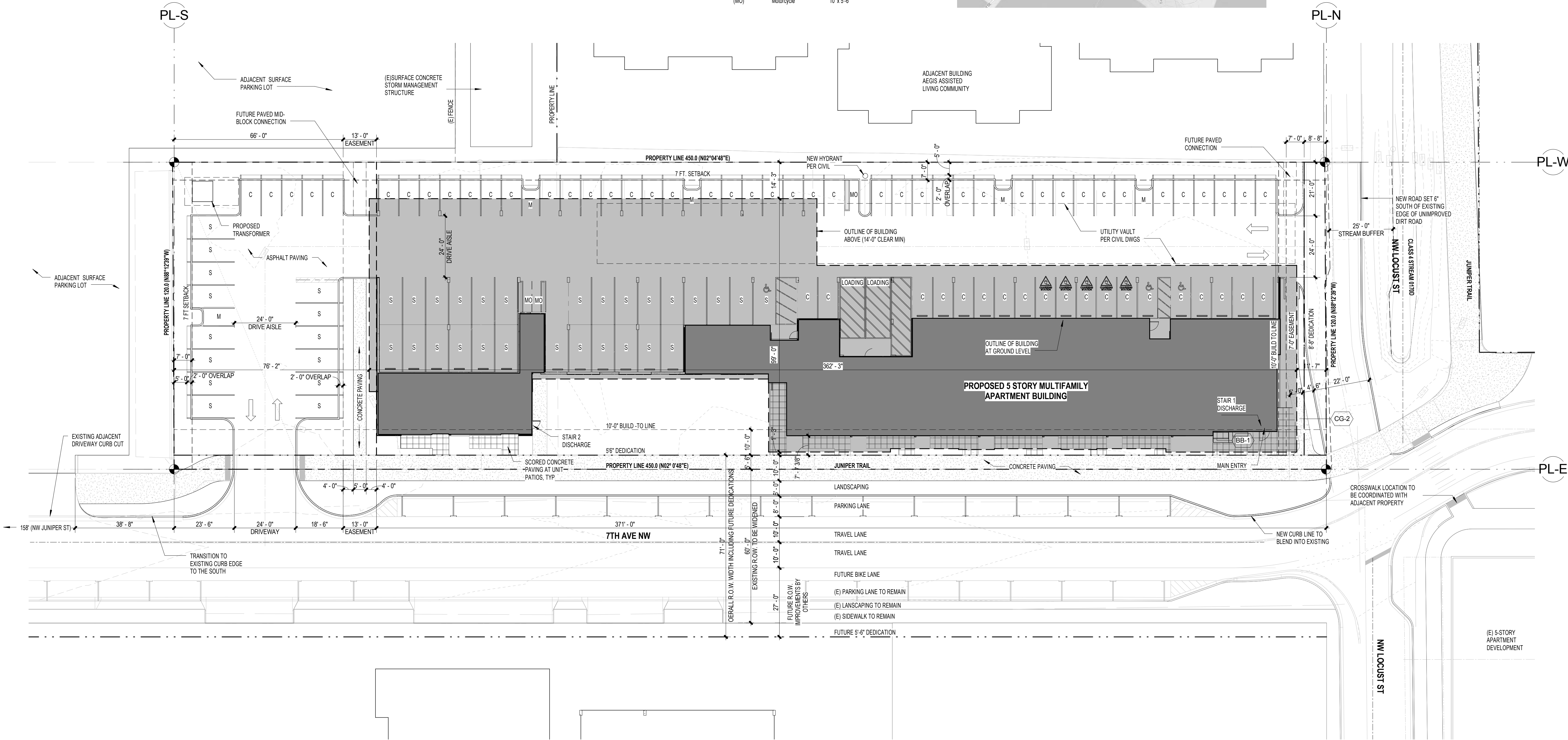


SITE PLAN NOTES:

- REFER TO SHEET G0.00 FOR OWNER / APPLICANT INFORMATION
- REFER TO SHEET A0.02 FOR LOT AREA AND ZONING REQUIREMENTS
- REFER TO SHEET A0.02 FOR DETAILED SETBACK INFORMATION AND CONFORMANCE
- REFER TO SHEET A0.02 FOR HEIGHT AND EXISTING / FINISH GRADE ELEVATION INFORMATION SEE ROOF PLAN ON SHEET A2.06 N/S FOR ACTUAL ROOF HEIGHTS PROVIDED
- SEE CIVIL DRAWINGS FOR DRAINAGE AND ROW IMPROVEMENTS
- SEE LANDSCAPE PLANS FOR LOCATIONS OF PROPOSED PLANTINGS (TREES, SHRUBS, AND GROUNDCOVER)
- SEE GEOTECH REPORTS FOR SUBGRADE PREPARATION AND ADDITIONAL REQUIREMENTS

KEYNOTES

- BB-1 BUILT-IN BENCHES  
CG-2 NEW CURB, GUTTER, AND SIDEWALK PER CIVIL DWGS



SITE PLAN - GROUND LEVEL  
SCALE: 1" = 20'-0"

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PROJECT:  
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955 7th Avenue NW  
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CLIENT:  
**ISSY 7TH AVE, LLC**

PROJECT ISSUES:  
SITE DEVELOPMENT PERMIT 4/19/2016

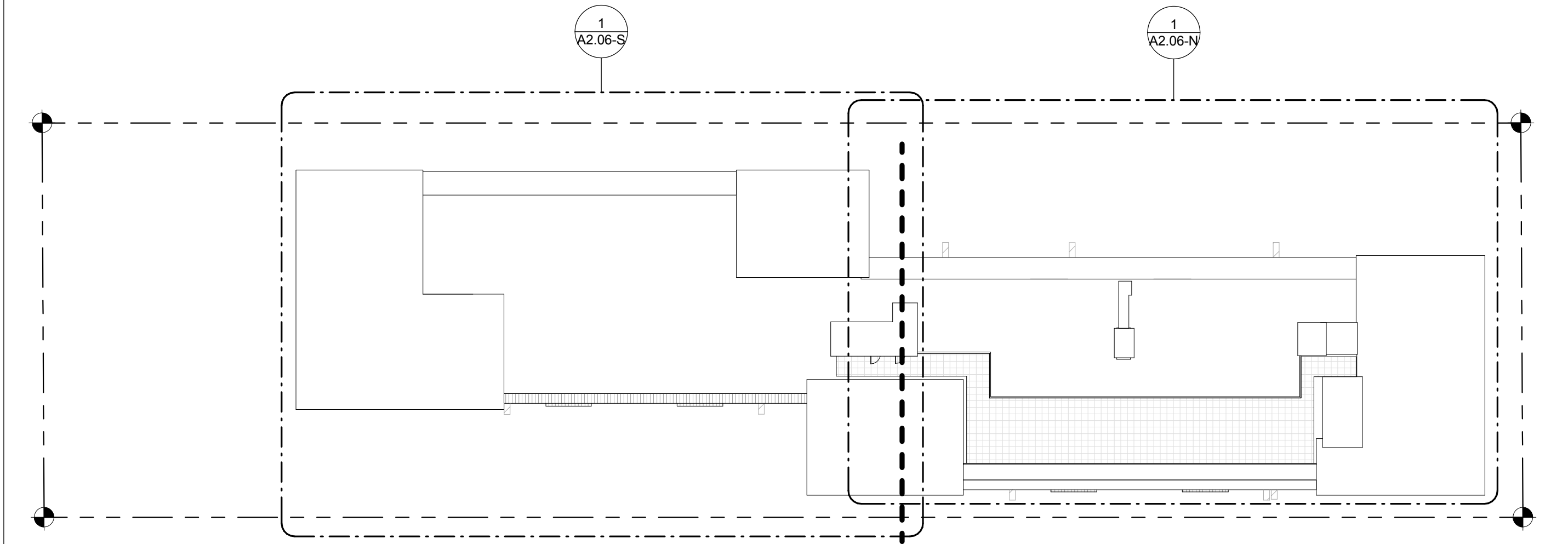
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REVISIONS

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CHECKED: NRG  
PROJECT No. 1531

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

ISSUE: SITE DEVELOPMENT PERMIT

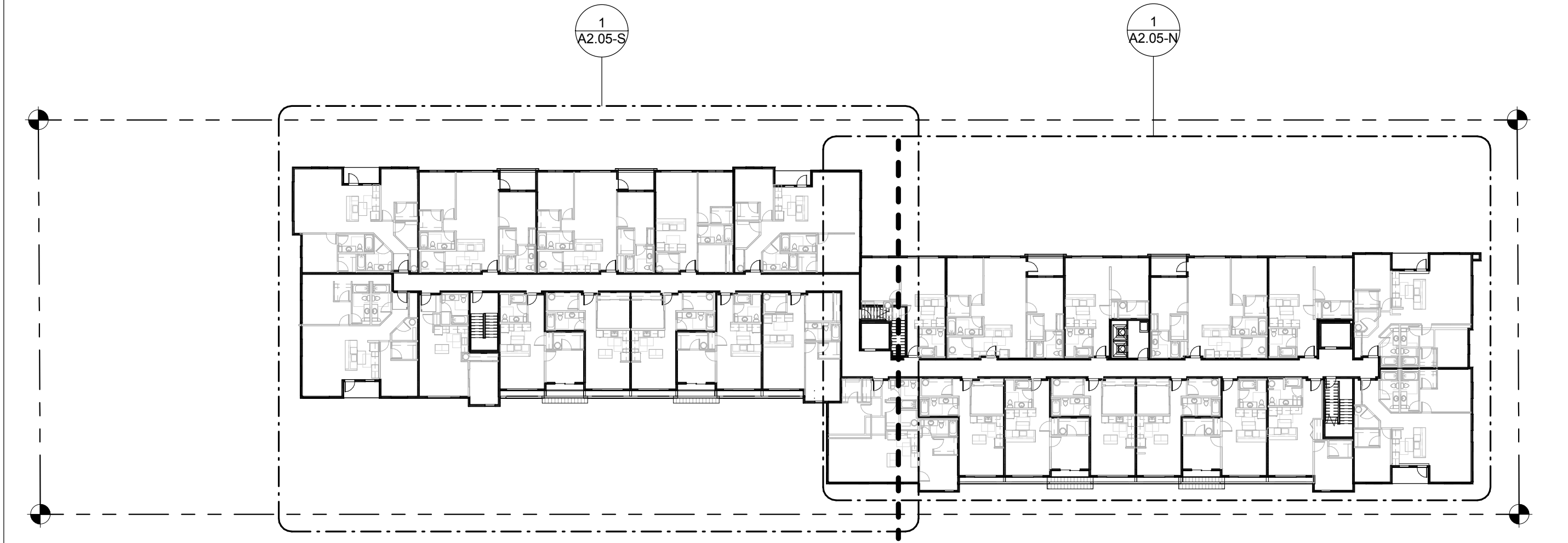
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**ROOF PLAN**  
SCALE: 1/32" = 1'-0"

6

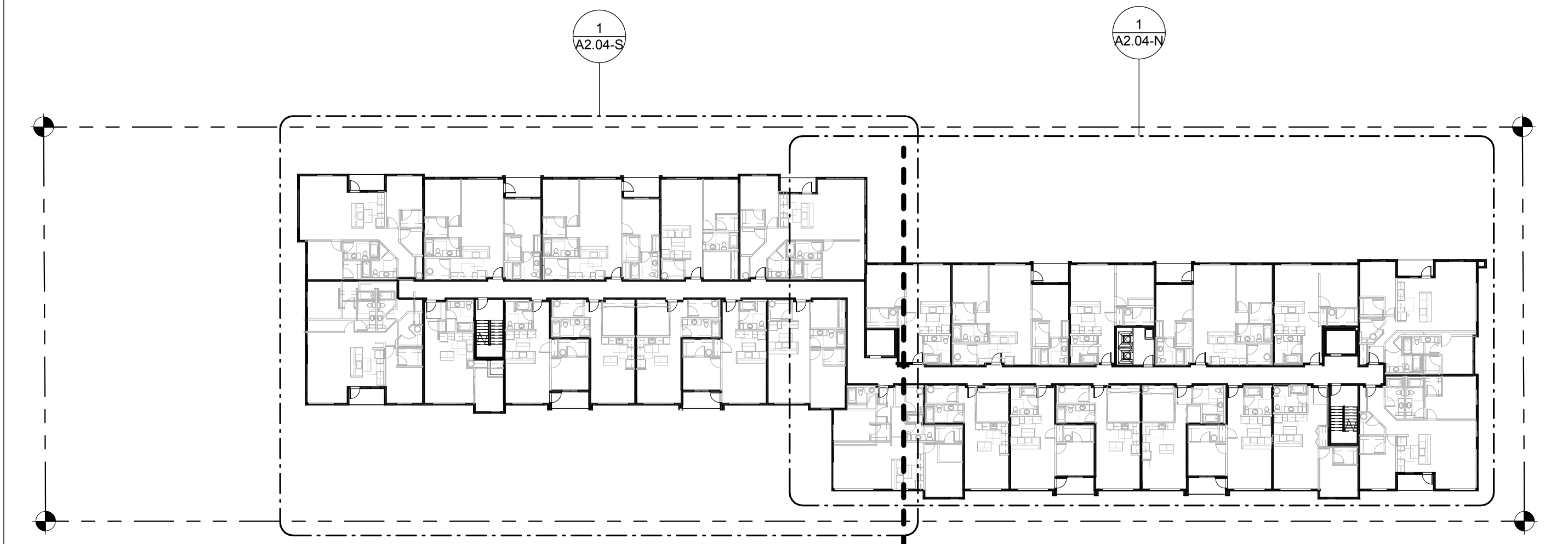
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**LEVEL 5**  
SCALE: 1/32" = 1'-0"

5

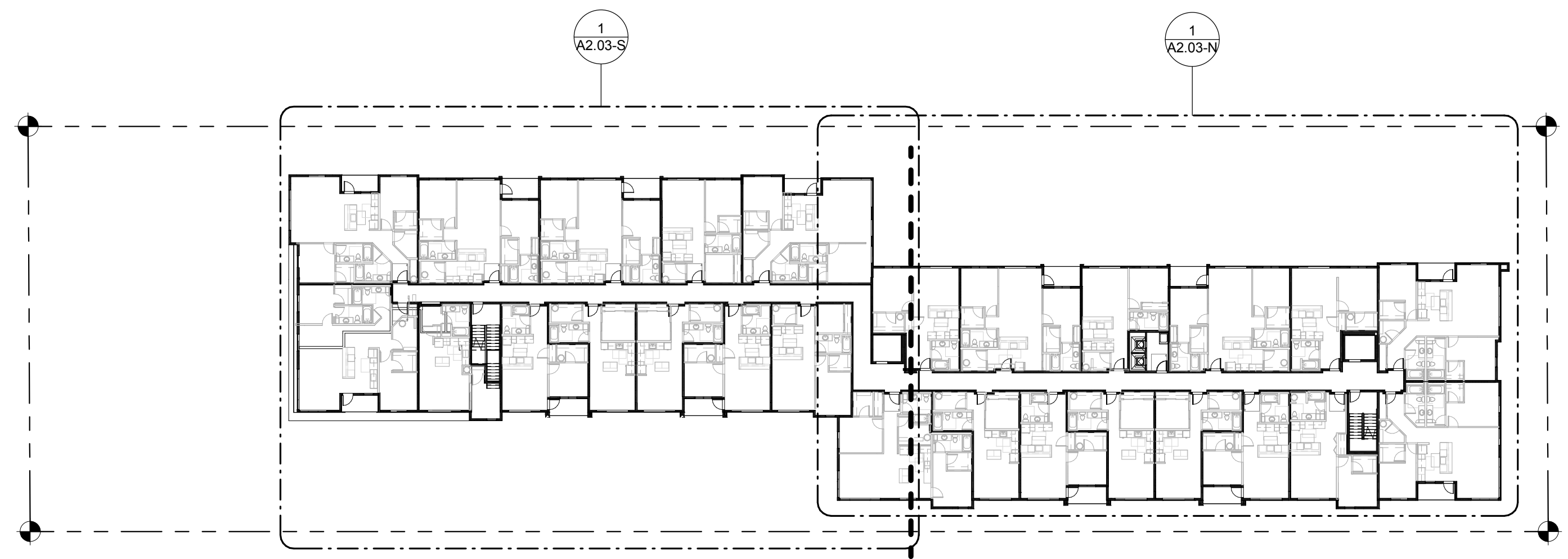
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**LEVEL 4**  
SCALE: 1/32" = 1'-0"

4

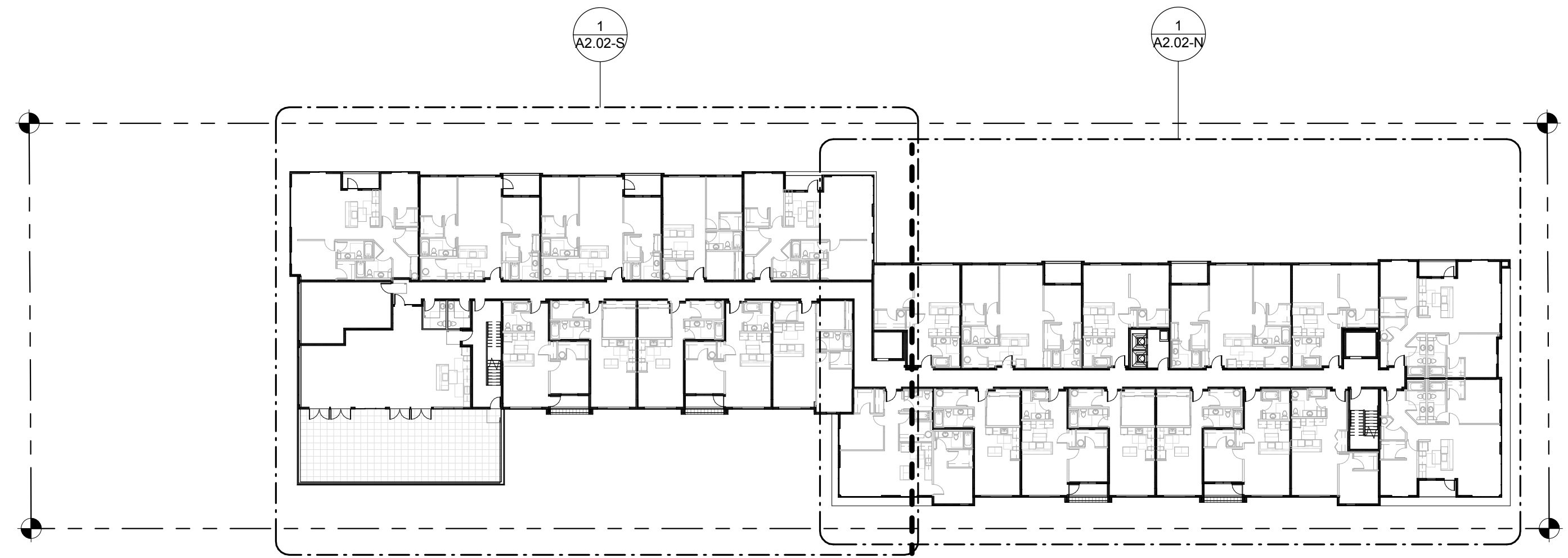
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**LEVEL 3**  
SCALE: 1/32" = 1'-0"

3

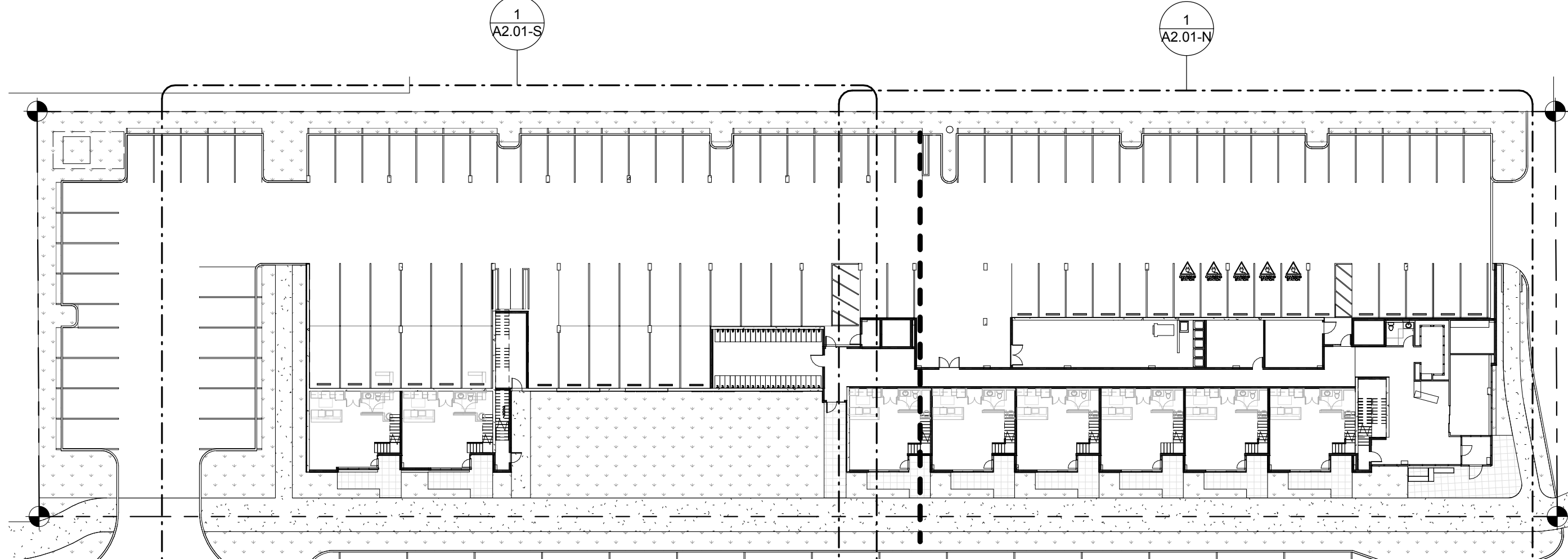
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**LEVEL 2**  
SCALE: 1/32" = 1'-0"

2

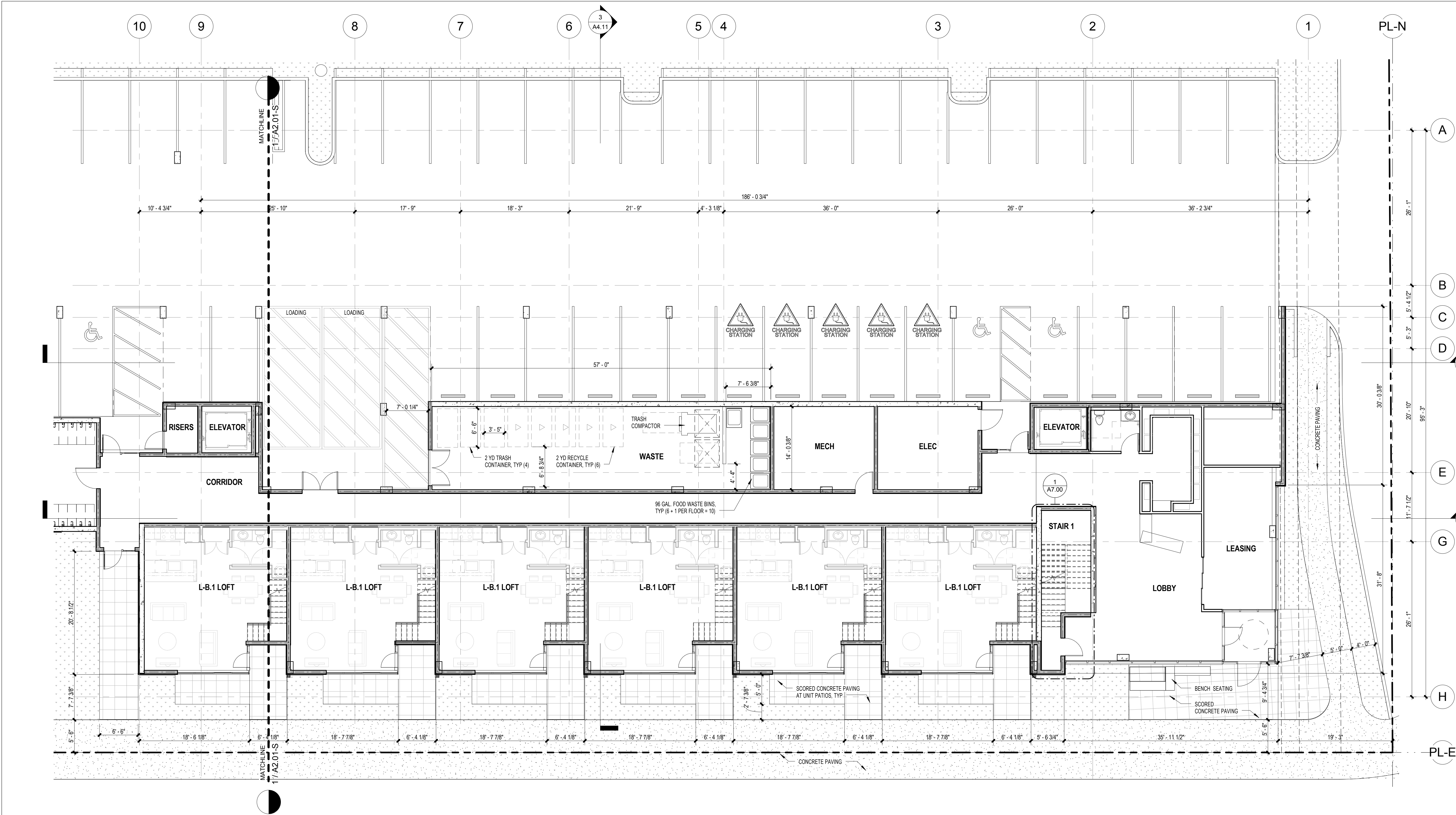
A2.00



**LEVEL 1**  
SCALE: 1/32" = 1'-0"

1

A2.00



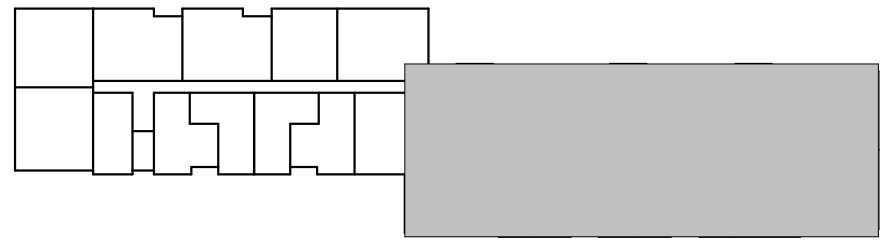
BUILDING ENVELOPE NOTES:

KEYNOTES

FLOOR PLAN GENERAL NOTES:

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LEVEL 1 - NORTH  
SCALE: 1/8" = 1'-0"



WALL ASSEMBLY TAG  
SEE SHEET A9.01

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PROJECT:

ISSAQUAH  
APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE:

4/19/2016

REVISIONS

DRAWN: NRG/ AMM

CHECKED: NRG

PROJECT No. 1531

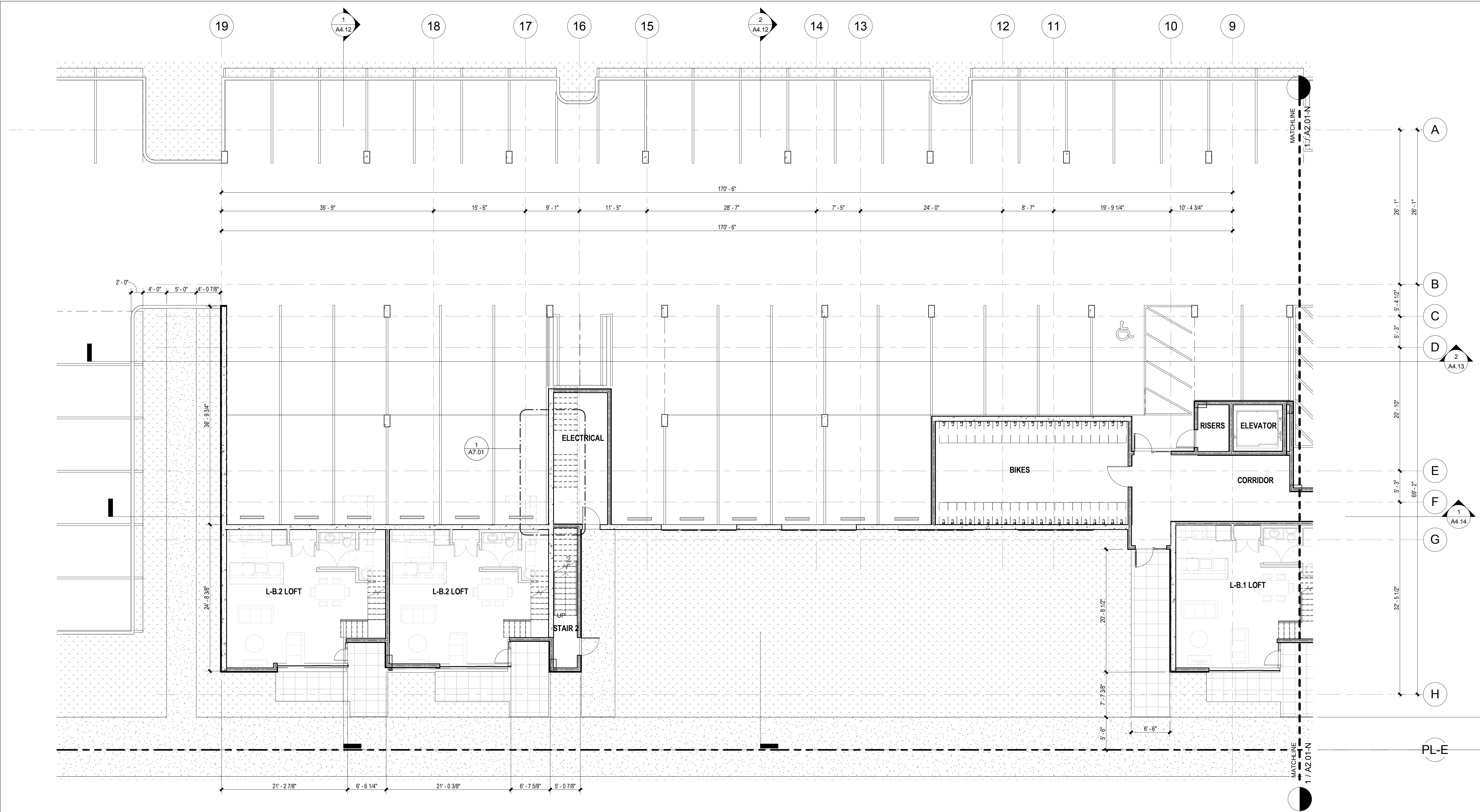
SHEET TITLE:

LEVEL 1 FLOOR  
PLAN - NORTH

ISSUE: SITE DEVELOPMENT PERMIT

A2.01-N





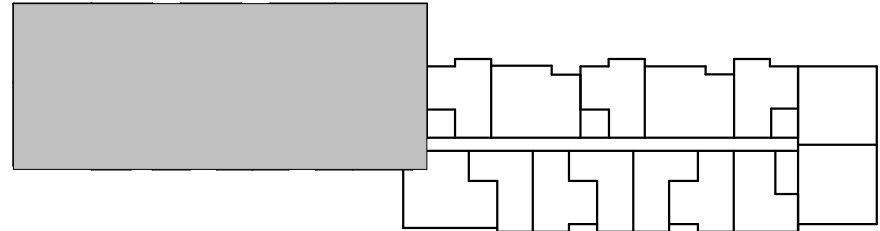
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LEVEL 1 - SOUTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

1  
A2.01-S

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PROJECT TRASH CONTAINERS TYP (A) 2 YD RECYCLE CONTAINER, TYP (B)  
**ISSAQUAH APARTMENTS**  
955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:  
**ISSY 7TH AVE, LLC**

PROJECT ISSUES:  
SITE DEVELOPMENT PERMIT 4/19/2016

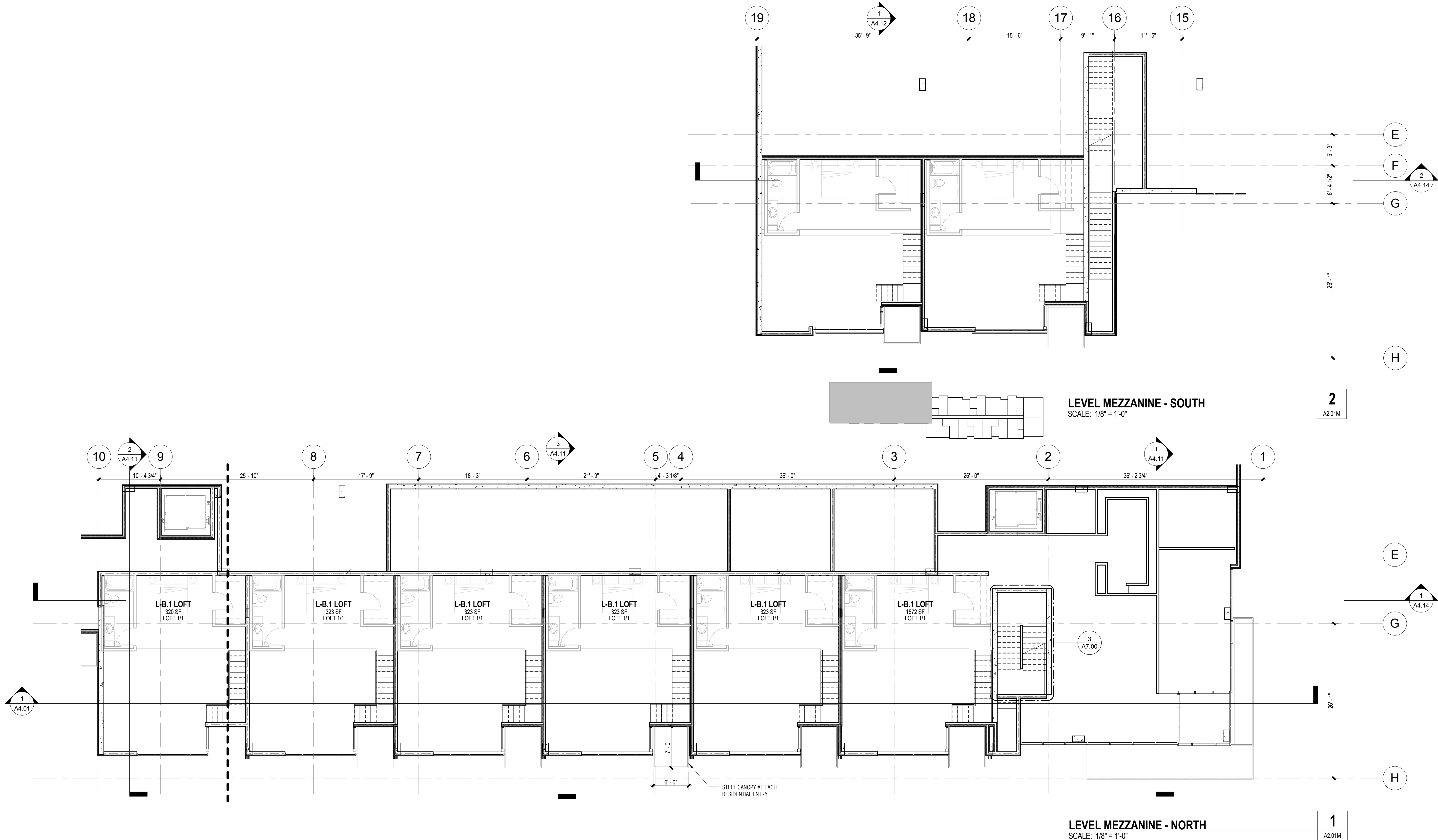
SHEET DATE: 4/19/2016  
REVISIONS

DRAWN: NRG/ AMM  
CHECKED: NRG  
PROJECT No. 1531

SHEET TITLE:  
**LEVEL 1 FLOOR PLAN - SOUTH**

ISSUE: **SITE DEVELOPMENT PERMIT**

**A2.01-S**



**BUILDING ENVELOPE NOTES:**

**KEYNOTES**

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**PROJECT:**

**ISSAQUAH  
APARTMENTS**

955 7th Avenue NW  
Issaquah, WA 98027

**CLIENT:**

**ISSY 7TH AVE, LLC**

**PROJECT ISSUES:**

**SITE DEVELOPMENT PERMIT** 4/19/2016

**SHEET DATE:**

**REVISIONS** 4/19/2016

**DRAWN:** NRG/ AMM

**CHECKED:** NRG

**PROJECT No.** 1531

**SHEET TITLE:**

**FLOOR PLAN -  
MEZZANINE**

**ISSUE:** SITE DEVELOPMENT PERMIT

**A2.01M**



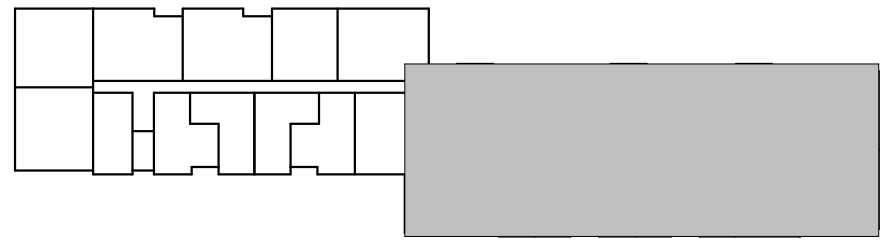
BUILDING ENVELOPE NOTES:

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LEVEL 2 - NORTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

1  
A2.02-N

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PROJECT:

ISSAQUAH  
APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE:

4/19/2016

REVISIONS

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CHECKED: NRG

PROJECT No. 1531

SHEET TITLE:

LEVEL 2 FLOOR  
PLAN - NORTH

ISSUE: SITE DEVELOPMENT PERMIT

A2.02-N





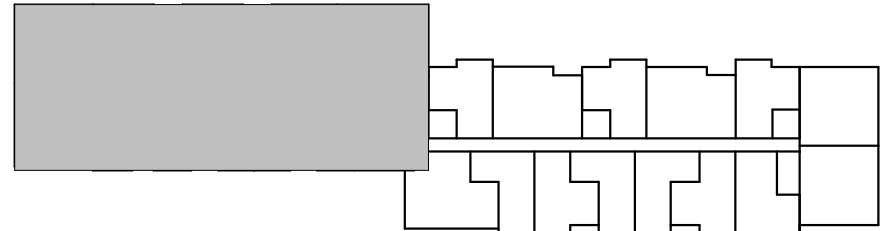
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LEVEL 2 - SOUTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

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PROJECT:

ISSAQUAH  
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Issaquah, WA 98027

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ISSY 7TH AVE, LLC

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4/19/2016

REVISIONS

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NRG/ AMM

CHECKED:

NRG

PROJECT No.

1531

SHEET TITLE:

LEVEL 2 FLOOR  
PLAN - SOUTH

ISSUE:

SITE DEVELOPMENT PERMIT

A2.02-S



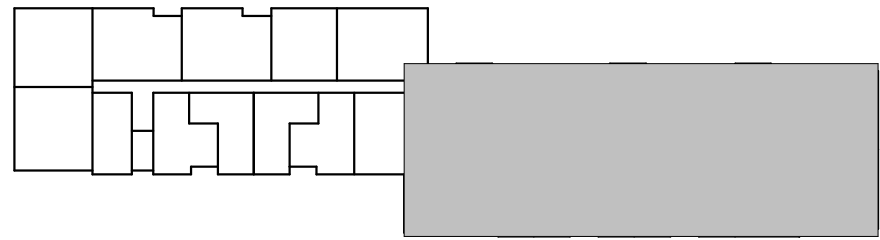
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LEVEL 3 - NORTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

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955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

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PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE:

4/19/2016

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CHECKED: NRG

PROJECT No. 1531

SHEET TITLE:

LEVEL 3 FLOOR  
PLAN - NORTH

ISSUE: SITE DEVELOPMENT PERMIT

A2.03-N



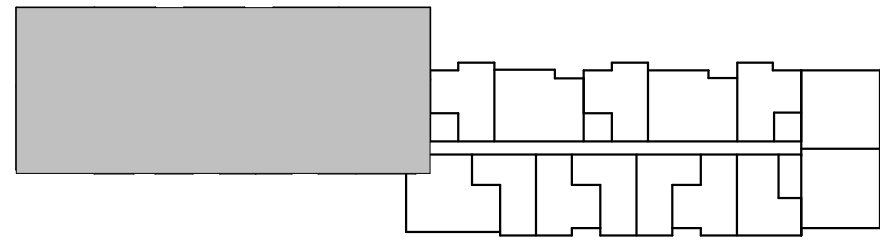
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LEVEL 3 - SOUTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01



PROJECT:

ISSAQUAH APARTMENTS CORRIDOR

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

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NRG

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LEVEL 3 FLOOR  
PLAN - SOUTH

ISSUE:

SITE DEVELOPMENT PERMIT

A2.03-S





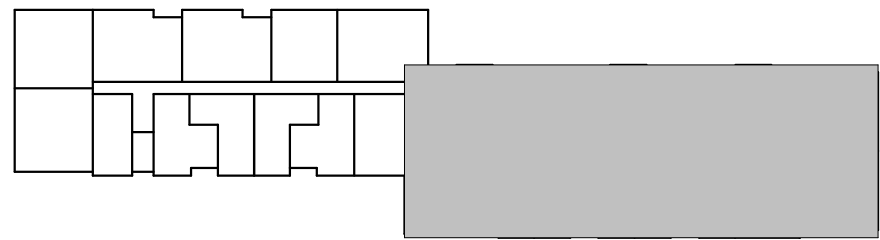
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LEVEL 4 - NORTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
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SEE SHEET A9.01

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NRG

PROJECT No.

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SHEET TITLE:

LEVEL 4 FLOOR  
PLAN - NORTH

ISSUE:

SITE DEVELOPMENT PERMIT

A2.04-N



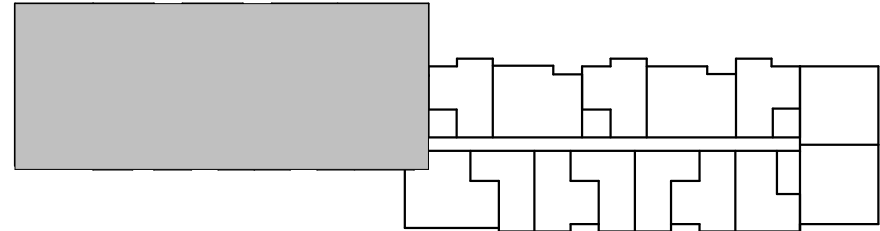
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KEYNOTES

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LEVEL 4 - SOUTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

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PROJECT:

ISSAQUAH  
APARTMENTS

955 7th Avenue NW  
Issaquah, WA 98027

CLIENT:

ISSY 7TH AVE, LLC

PROJECT ISSUES:

SITE DEVELOPMENT PERMIT 4/19/2016

SHEET DATE:

4/19/2016

REVISIONS

DRAWN: NRG/ AMM

CHECKED: NRG

PROJECT No. 1531

SHEET TITLE:

LEVEL 4 FLOOR  
PLAN - SOUTH

ISSUE: SITE DEVELOPMENT PERMIT

A2.04-S



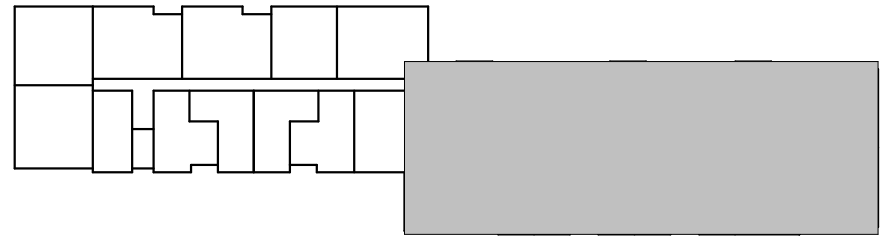
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LEVEL 5 - NORTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

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- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

1  
A2.05-N

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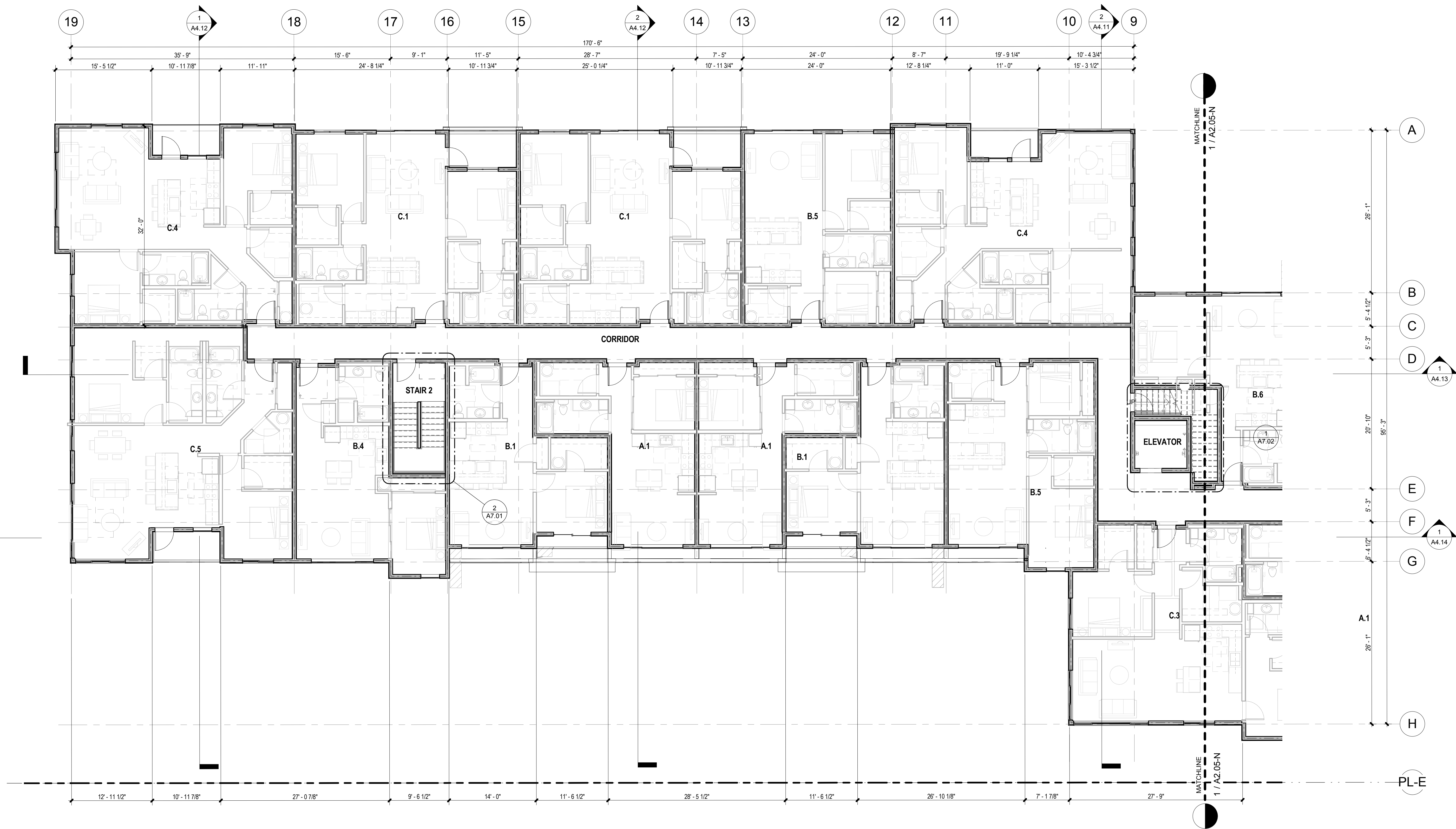
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LEVEL 5 FLOOR  
PLAN - NORTH

ISSUE: SITE DEVELOPMENT PERMIT

A2.05-N





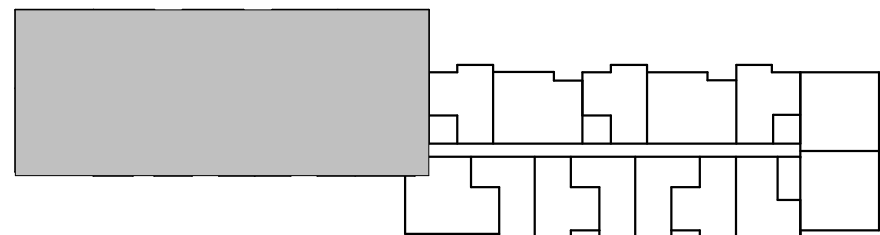
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LEVEL 5 - SOUTH  
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- 3 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- NON-RATED ASSEMBLY

WALL ASSEMBLY TAG  
SEE SHEET A9.01

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LEVEL 5 FLOOR  
PLAN - SOUTH

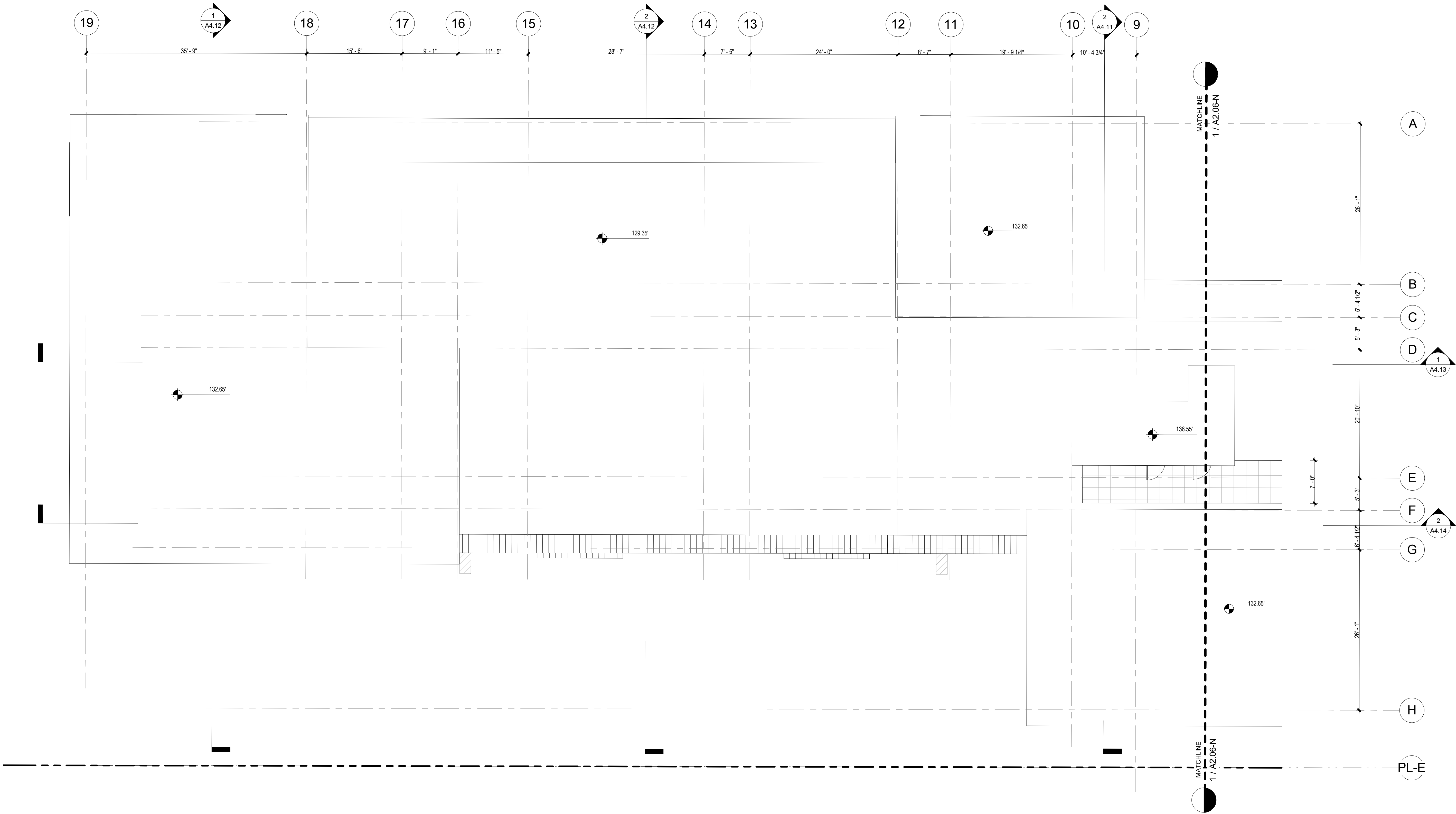
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LOCATION AND ROOF AREA	REQUIREMENTS	REQ'D VENTILATION (SQ IN)	PRIMARY VENTILATION METHOD	PARAPET VENTILATION PROPOSED (SQ IN)	ROOF JACK VENTILATION PROPOSED (SQ IN)	SOFFIT VENTILATION PROPOSED (SQ IN)
FLAT ROOF OF WEST MASSING - 3349 SF	NET FREE VENTING = 1/300 OF VOLUME OF SPACE (SC1 1203.2)	1/300 * 3349 SF = 1607.04 SQ IN	PARAPET AT PERIMETER THROUGH ROOF JACKS AT 4" OC	246.5 LF OF PARAPET 5.31" * 246.5 = 1308.92 SQ IN	1607.04 - 1308.92 = 298.12 SQ IN	NONE
BUTTERFLY ROOF = 1660 SF	NET FREE VENTING = 1/300 OF VOLUME OF SPACE (SC1 1203.2)	1/300 * 1660 = 560.52 SF = 748.8 SQ IN	CONVENTIONALLY THROUGH 1.5 DIA TRAP DOORS AT PERIMETER LF	748.8 - 565.5 = 183.29 SQ IN	106.5 LF OF STRIP VENT 5.31" * 106.5 = 565.5 SQ IN	

15. SEE 18/BE06.00 FOR FLASHING BOOTS
16. SEE 1/BE06.01 FOR SCUPPER SECTION
17. SEE 2/BE06.01 FOR SCUPPER ISOMETRIC
18. SEE 3/BE06.01 FOR COLLECTOR BOX ISOMETRIC
19. SEE 4/BE06.01 FOR SCUPPER COLLAR ISOMETRIC
20. SEE 6/BE06.01 FOR ROOF AT BUTTERFLY



ROOF SLOPE / PARAPET HEIGHT CALCULATIONS

PER EXHIBIT B FOR 23.45.514 OF THE SEATTLE LAND USE CODE.  
BUILDING HEIGHT MAY EXCEED HEIGHT LIMIT TO ALLOW FOR SLOPE, PROVIDED THE HEIGHT OF THE HIGHEST ELEVATION OF ROOF SURFACE DOES NOT EXCEED 75% OF PARAPET HEIGHT PROVIDED THAT THE LOWEST ELEVATIONS OF ROOF SURFACE IS NO HIGHER THAN THE HEIGHT LIMIT.

BASE HEIGHT LIMIT:	459.71'
LOWEST POINT OF ROOF HEIGHT:	459.65'
HIGHEST POINT OF ROOF:	460.65'
PROPOSED PARAPET HEIGHT:	462.23'
ALLOWED MAXIMUM RIDGE HEIGHT:	1.93 FEET (461.58') (462.23' - 459.65' = 2.58' X 75% = 1.93')
PROVIDED MAXIMUM RIDGE HEIGHT:	1 FOOT (460.65') (460.65' - 459.65' = 1.0')

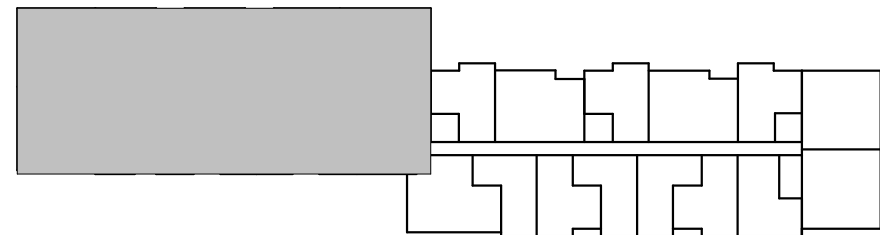
ROOF VENTILATION CALCULATIONS

LOCATION AND ROOF AREA	REQUIREMENTS	REQUIRED VENTILATION (SQ IN)	PRIMARY VENTILATION METHOD	PARAPET VENTILATION PROPOSED (SQ IN)	ROOF JACK VENTILATION PROPOSED (SQ IN)	SOFFIT VENTILATION PROPOSED (SQ IN)
FLAT ROOF OF WEST MASSING = 3348 SF	NET FREE VENTING = 1/300 OF VENTED SPACE (SBC 1203.2)	1/300 * 3348 = 1116 SQ IN =1607.04 SQ IN	PARAPET AT PERIMETER THROUGH ROOFS AT 4" OC	246.5 LF OF PARAPET 5.31" * 246.5 = 1308.92 SQ IN	1607.04 - 1308.92 = 298.12 SQ IN	NONE
BUTTERFLY ROOF = 1560 SF	NET FREE VENTING = 1/300 OF VENTED SPACE (SBC 1203.2)	1/300 * 1560 = 5.2 SF = 748.8 SQ IN	CONINUOUS THROUGH 1.5 DIA ROOFS = 5.31 SQ IN PER LF	748.8 - 565.5 = 183.29 SQ IN	106.5 LF OF STRIP VENT 5.31" * 106.5 = 565.5 SQ IN	

UPDATE REFERENCES FOR CURRENT PROJECT

ROOF PLAN NOTES

- PROVIDE 1 INCH MINIMUM AIR GAP BETWEEN TOP OF INSULATION AND UNDERSIDE OF ROOF SHEATHING.
- INSTALL A VAPOR RETARDER, WITH A TRANSMISSION RATE NOT TO EXCEED 1 PERM, AT THE WARM SIDE OF THE ATTIC INSULATION.



BUILDING ENVELOPE NOTES - ROOF

1. SEE 1/BE06.00 FOR PARAPET TO ROOFING TRANSITION

2. SEE 2/BE06.00 FOR PIPE FLASHING

3. SEE 3/BE06.00 FOR PIPE BOOT

4. SEE 4/BE06.00 FOR ROOF DRAIN

5. SEE 6/BE06.00 FOR CURB AT ROOF HATCH

6. SEE 7/BE06.00 FOR ROOF TO WALL FLASHING

7. SEE 8/BE06.00 FOR ROOF DRAIN LAYOUT
8. SEE 9/BE06.00 FOR TYPICAL EAVE FLASHING

9. SEE 10/BE06.00 FOR RAKE OVERHANG

10. SEE 11/BE06.00 FOR RIDGE FLASHING

11. SEE 12/BE-6.00 FOR EXHAUST VENT FLASHING

12. SEE 14/BE06.00 FOR TPO BASE FLASHING - OUTSIDE CORNER

13. SEE 15/BE06.00 FOR TOP BASE FLASHING - INSIDE CORNER

14. SEE 16/BE06.00 FOR ROOF DRAIN INSULATION
15. SEE 18/BE06.00 FOR FLASHING BOOTS

16. SEE 1/BE06.01 FOR SCUPPER SECTION

17. SEE 2/BE06.01 FOR SCUPPER ISOMETRIC

18. SEE 3/BE06.01 FOR COLLECTOR BOX ISOMETRIC

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20. SEE 6/BE06.01 FOR ROOF AT BUTTERFLY

ROOF PLAN - SOUTH  
SCALE: 1/8" = 1'-0"

1  
A2.06-S



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ROOF PLAN - SOUTH

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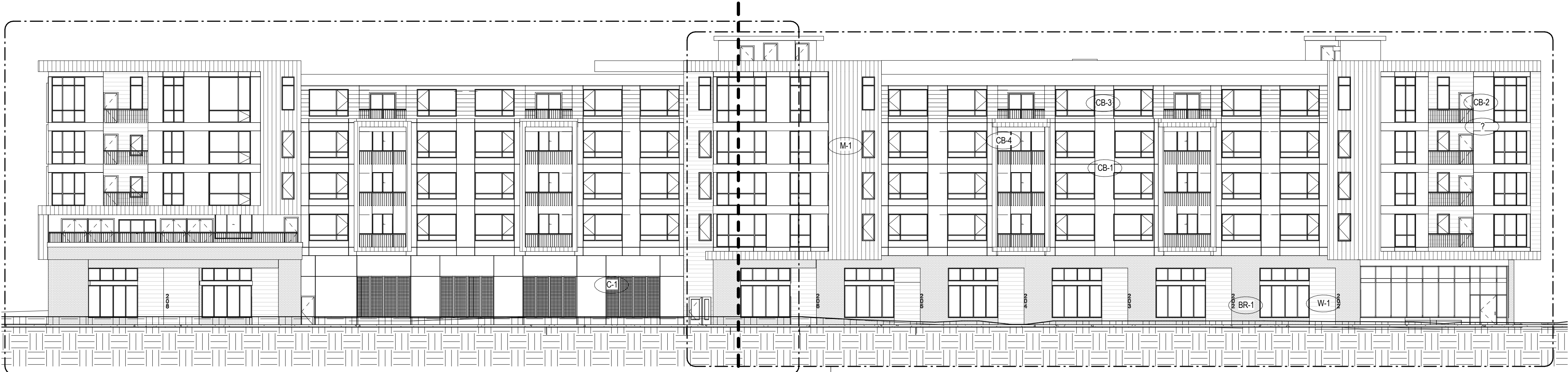
A2.06-S





ELEVATION - NORTH (NW LOCUST ST)  
SCALE: 1/16" = 1'-0"

4  
A3.01



ELEVATION - EAST (7TH AVE NW)  
SCALE: 1/16" = 1'-0"

2  
A3.01



SITE ELEVATION - SOUTH  
SCALE: 1/16" = 1'-0"

3  
A3.01



SITE ELEVATION - WEST  
SCALE: 1/16" = 1'-0"

1  
A3.01

#### BUILDING ENVELOPE NOTES - ELEVATIONS

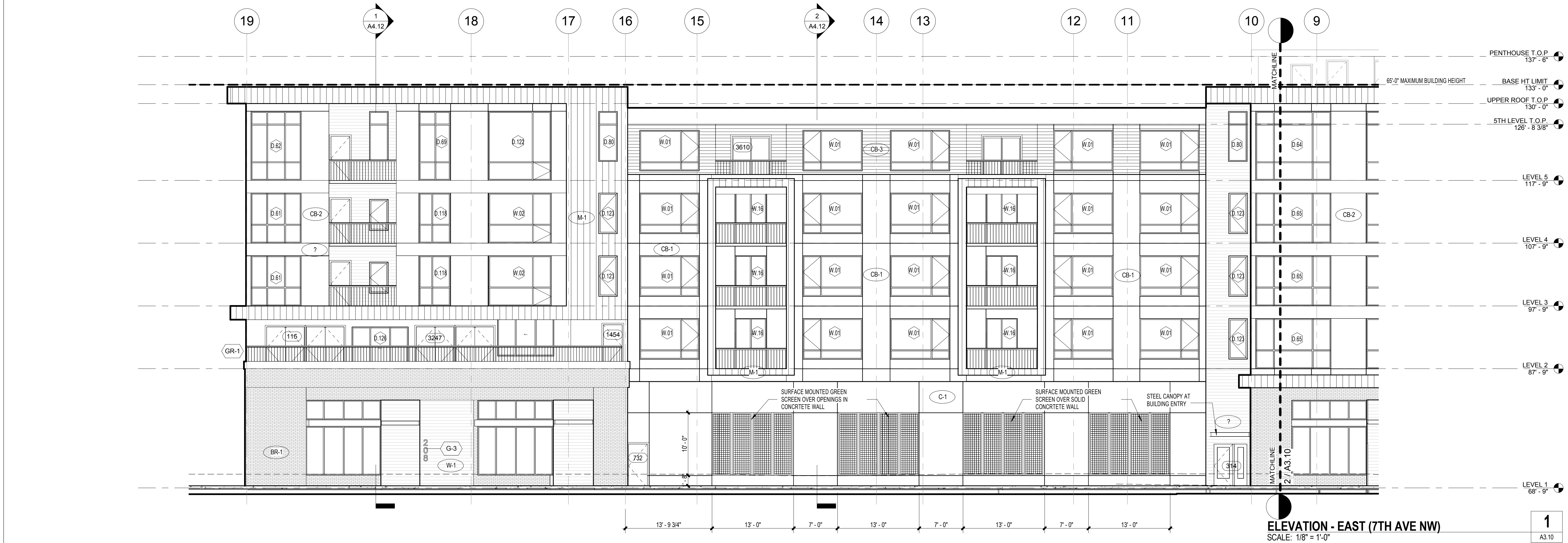
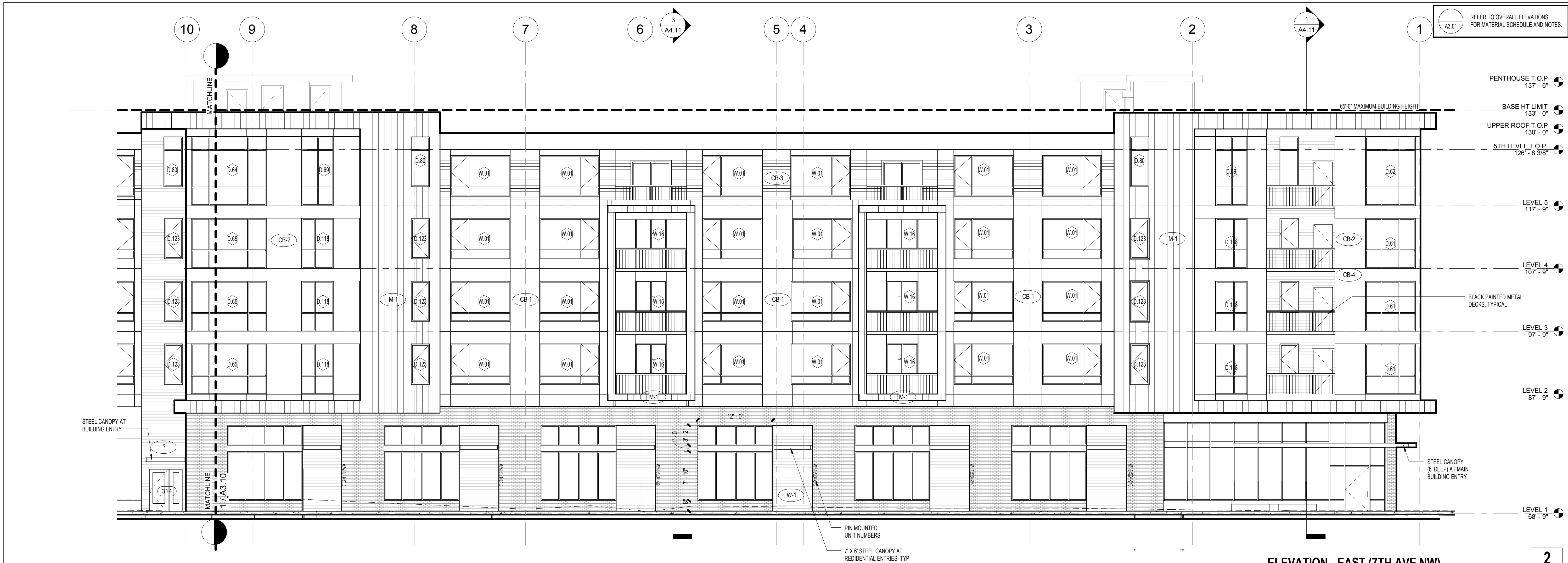
1. PENETRATION WRAP & FLASHING AT WINDOWS & SLIDERS PER SHEET BE2.00
2. PENETRATION WRAP & FLASHING AT SWING DOORS PER SHEET BE2.01
3. SEE 19/BE2.03 FOR FLASHING TERMINATION/KERF AT CONC WALLS (WITHOUT A CAST REVEAL)
4. SEE 18/BE2.03 FOR FLASHING TERMINATION/KERF AT CONC WALLS (WITHOUT A CAST REVEAL)
5. SEE BE2.02 FOR TYPICAL FLASHING PLATE (OR SIM) WALL PENETRATIONS
6. PROVIDE FLASHING AROUND CABINETS/STOVE PANELS, METERS) PER 2.03.
7. INSTALL FLASHING LAP JOINTS PER 20/BE2.03.
8. PROVIDE FLASHING @ PIPE PENETRATIONS PER 12/BE2.03.
9. PROVIDE A 2-PIECE FLASHING COLLAR AT PENETRATIONS THROUGH ROOF. ACCEPT A 1-PIECE OR QUICKFLASH COLLAR - SUCH AS GAS METER PIPING - PER 12/BE2.03.
10. PROVIDE A HOOD AT VENT/EXHAUST PENETRATIONS PER 1/BE2.04 (GROUPED) OR 3/BE2.04 (SINGLE).
11. PROVIDE CAP FLASHING AT HOSE BIBS PER 11/BE2.03.
12. PROVIDE A QUICKFLASH PANEL & GASKETED COVER AT ELECTRICAL OUTLETS & LIGHT FIXTURES

#### KEYNOTES

- CM-2 1/2" STEEL AWNING  
G-3 1/2" BRICK  
GR-11 1/2" GRILL  
PL-2 1/2" GRILL

#### EXTERIOR FINISH SCHEDULE

MARK	EXTERIOR MATERIAL	MANUFACTURER	SPECIFICATION	COMMENTS
BR-1	THIN BRICK VENEER	MUTUAL MATERIALS	STANDARD 2 1/2" WITH RAKED JOINTS - MISSION SERIES; COLOR: MAJUNA	
C-1	FORMED CONCRETE - PER STRUCTURAL			
CB-1	CEMENT BOARD PANELS	SHERWIN WILLIAMS	SW6243 "DISTANCE"	JOINT PATTERN PER ELEVATION
CB-2	CEMENT BOARD PANELS	SHERWIN WILLIAMS	SW7667 "ZIRCON"	JOINT PATTERN PER ELEVATION
CB-3	CEMENT BOARD PANELS - LAPPED SIDING	SHERWIN WILLIAMS	SW7003 "TOQUE WHITE" - LAPPED SIDING	JOINT PATTERN PER ELEVATION
CB-4	CEMENT BOARD PANELS	SHERWIN WILLIAMS	SW2848 ROYOCROFT PEWTER	JOINT PATTERN PER ELEVATION
M-1	METAL SIDING	AEP SPAN	PRESTIGE SERIES - FINISH PER PROJECT	12" PANEL, NO REVEAL, 2 PENCIL RIB, VERTICAL
W-1	EXTERIOR WOOD COMPOSITE CLADDING	PARKLEX	"COPPER"	









## ISSAQUAH APARTMENTS

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Issaquah, WA 98027

ISSY 7TH AVE, LLC

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4/19/2016

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## BUILDING ELEVATION

SITE DEVELOPMENT PERMIT



**A3.12**



LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	NOTE 1	QUANTITY
P1		(1) 32W LED	PHILIPS 4' VAPORLUME 2-LP3.2.1 4000K BOARDS 54W DRIVER 2.7K RESISTOR	STEP-DIMMING	CEILING	PHILIPS DAY-BRITE - PHILIPS CFI, DWAE35L840-4-UNV	31.5	UNDERSTRUCTURE PARKING	23
Z1		(1) LED 4000K	WALL MOUNT ARCH LIGHT	ELECTRONIC	WALL	LITHONIA WSO LED 2 10A700/30K SR3 MVOLT	47	PATHWAY	16
Z5		(1)	DECORATIVE UPLIGHT	ELECTRONIC	CEILING	TBD	64	MOUNTED ABOVE ENTRANCE CANOPY	4
Z6		(1) LED 2700K	5.5" LED PUCK LIGHT	ELECTRONIC	CEILING	SATCO S9321	10.1	MOUNTED BELOW ENTRANCE CANOPY	5
Z9HSS		(60) 74W LED	CREE EDGE AREA TYPE IV DISTRIBUTION	ELECTRONIC	POLE	CREE ARE-EDR	134	PARKING LOT	5



**WSQ LED**  
Architectural Wall Sconce

  **Lighting Facts**

Inverted available with WLU option only.

**Specifications Luminaire**

**Height:** 9-3/8" (23.8 cm)  
**Width:** 18" (45.7 cm)  
**Depth:** 9" (22.8 cm)  
**Weight:** 17 lbs (7.7 kg)

**Optional Back Box (BBW)**

**Height:** 4" (10.2 cm)  
**Width:** 5-1/2" (14.0 cm)  
**Depth:** 1-1/2" (38 mm)

For 3/4" NPT, side-entry conduit

**Ordering Information**

**EXAMPLE:** WSQ LED 2 10A700/40K SR3 MVOLT DDBTXD

WSQ LED	Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Opt ons <sup>1</sup>	Finish (required)
WSQ LED	1	One engine (10 LED)	700 mA Options: 10A700/20K 3000K	SR2 Type II	MVOLT <sup>1</sup>	Shipped included (blank) Surface mount	PE Photocell on/off, button type <sup>4,5</sup>	DBRZD Dark bronze
		Two engines (20 LED)	10A700/40K 4000K	SR3 Type II	208 <sup>1</sup>		SF Single fuse (208, 277, 347V) <sup>1</sup>	DNAWD Natural aluminum
			10A700/50K 5000K	SR4 Type IV	240 <sup>1</sup>		DF Double fuse (208, 240, 480V) <sup>1</sup>	DWNWD White
				277 <sup>1</sup>	DNG 0-10V dimming driver (no control)		DSSTD Sandstone	
				347	ELW Emergency battery backup <sup>1</sup>		DBRZD Textured dark bronze	
				480	WLU Wet location door for up orientation <sup>1</sup>		DBLRD Textured black	
					PRF Motion/ambient light sensor <sup>1</sup>		DWNRD Textured natural aluminum	
					DS Dual switching <sup>1</sup>		DWNGD Textured white	
					Shipped separately VGS Vandal guard		DSSTD Textured sandstone	
					WG Wire guard			

**NOTES**

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with photocell (PE), fusing (SF, DF), or dual switching (DS).
- May also be ordered separately as an accessory. Ex: WSBW/DBRZD U.
- Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PE) can be ordered with a dedicated voltage option. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with 480V option. Not available with motion/ambient light sensor (PRF).
- Integral battery pack is rated for 20" to 40°C operating temperature. ELWV warranty is 3-year period. Not available with 347V or 480V. Not available with WLU.
- WLU not available with PRF or ELWV.
- Specifies the SensorSwitch SFOD-7-ODP control (photocell included); see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PRF" option (button type photocell). Dimming driver standard. Not available with WLU, VGS or WGS.
- Provides 50/50 luminaire operation via two independent drivers and light engines on two separate circuits. Not available with one engine, MVOLT, ELWV, WLU, SF, or DF. Must specify voltage; voltage must be the same for both drivers. When ordered with photocell (PE) or motion sensor (PRF), only the primary power source leads will be controlled.

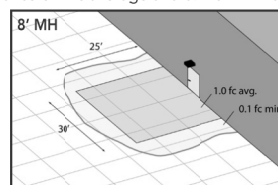
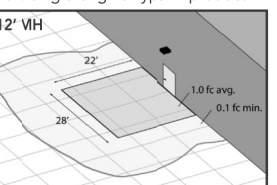
**Emergency Battery Operation**

The emergency battery backup (ELWV option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.


All ELWV configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light engines are wired to parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70/NEC 2008 - 720.16.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time supply power is lost; see International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.7.1 provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions).

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.

WSQ LED 1 10A700/40K SR4  
MVOLT ELWV  
8" and 12" Mounting Height

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WSQ LED  
Rev. 08/11/15

## Cree Edge™ Series

LED Area Luminaire - Round

### Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherright LED driver compartment, spun vented cover, high performance aluminum heat sinks and leaf/debris guard.

**Applications:** Auto Dealerships, parking lots, campuses, facade lighting and general site lighting applications

### Performance Summary

Patented NanoOptic® Product Technology
Made in the U.S.A. of U.S. and imported parts
CRI: Minimum 70 CRI
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard
Limited Warranty <sup>1</sup> : 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

<sup>1</sup>See www.cree.com/lighting/products/warranty for warranty terms

### Accessories

Field-Installed	
Bird Spikes XA-BRDSBK	Backlight Control Shields XA-20BL-S-1 -Four pack -Unpainted stainless steel

LED Count (x10)	Weight
84	33.8 lbs. (15.3kg)
86	35.2 lbs. (15.9kg)
88	37.0 lbs. (16.8kg)
9	40.7 lbs. (18.4kg)
2	42.4 lbs. (19.3kg)

R4/R5 Mount - see page 14 for weight & dimensions

### Ordering Information

Example: ARE-EDR-2M-R3-12-E-UL-SV-350

Product	Optic		Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDR	2M Type II Medium 2000	3MP Type III Medium w/Partial BLS	R3 Spider, Center Tension, 2-1/8" NPT ISO	84 <sup>1</sup>	E	UL Universal 120-277V	BK Black R2 Bronze R4 Silver R5 White	350 350mA 500 500mA 700 700mA	DNB 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - When code dictate fusing, use time delay fuse - Available with UL voltage only HL Hi-Low (Dual Circuit Input) - Refer to UL spec sheet for details P Photocell - Available with UL voltage only 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
	4M Type II Medium w/BLS	4MB Type IV Medium w/BLS	R4 Spider, Center Direct, 4" Square	88 <sup>1</sup>		UL Universal 141-480V			
	5M Type II Medium w/BLS	5MB Type IV Medium w/Partial BLS	R5 Spider, Center Direct, 5" Round	92 <sup>1</sup>					
	6M Type II Medium w/BLS	6MB Type IV Medium w/Partial BLS	R6 Spider, Center Direct, 6" Round	96 <sup>1</sup>					
	7M Type II Medium w/BLS	7MB Type IV Medium w/Partial BLS	R7 Spider, Center Direct, 7" Round	100 <sup>1</sup>					
	8M Type II Medium w/BLS	8MB Type IV Medium w/Partial BLS	R8 Spider, Center Direct, 8" Round	104 <sup>1</sup>					
	9M Type II Medium w/BLS	9MB Type IV Medium w/Partial BLS	R9 Spider, Center Direct, 9" Round	108 <sup>1</sup>					
	10M Type II Medium w/BLS	10MB Type IV Medium w/Partial BLS	R10 Spider, Center Direct, 10" Round	112 <sup>1</sup>					
	11M Type II Medium w/BLS	11MB Type IV Medium w/Partial BLS	R11 Spider, Center Direct, 11" Round	116 <sup>1</sup>					
	12M Type II Medium w/BLS	12MB Type IV Medium w/Partial BLS	R12 Spider, Center Direct, 12" Round	120 <sup>1</sup>					

<sup>1</sup>Consists of multiple 20 LED light bars. 86, 92, and 98 LED units are backlogs as needed in place of populated light bars (BLS). These orders may apply depending on configuration.

US: [www.cree.com/lighting](http://www.cree.com/lighting) T (800) 236-6800 F (262) 504-5415

Rev. Date: V3 11/19/2015

Canada: [www.cree.com/canada](http://www.cree.com/canada)

T (800) 473-1234 F (800) 890-7507

## S9321

10.5W/LED/5.5"FLUSH/27K/RD/BN  
10.5 watt; 5.5" Flush Mount LED Fixture; 2700K; Round Shape; Brushed Nickel Finish; 120 volts

S9321

Item Number	Product Line	UPC	Voltage	Watts	Incandescent Equivalent	Fixture Type	Base
S9321	BLINK	045823093210	120	10.5	65W	Flush Mount	Connector
Lamp Code	Dimmable/Non-Dimmable	Finish	MOL In Inches	MOD In Inches	Initial Lumens	Average Rated Hours	Kelvin Temp
10.5W/LED/5.5"FLUSH/27K/RD/BN	Dimmable	Brushed Nickel	1"	5 5/8"	580	40000	2700
Color	CRI	Beam Spread Deg	Pack	Package Type	ENERGY STAR	RoHS Compliant	UL or ETL Listed
Warm White	80+	108	12	Box	ENERGY STAR	Yes	Yes
UL Classification						Warranty	
cETLus - Damp Location Rated						5 Year Limited	

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**EMERALD CITY ENGINEERS, INC.**

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PROJECT:

## ISSAQUAH APARTMENTS

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STAMP

CLIENT:

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PERMIT SUBMITTAL

SHEET DATE: 04/25/2016

REVISIONS

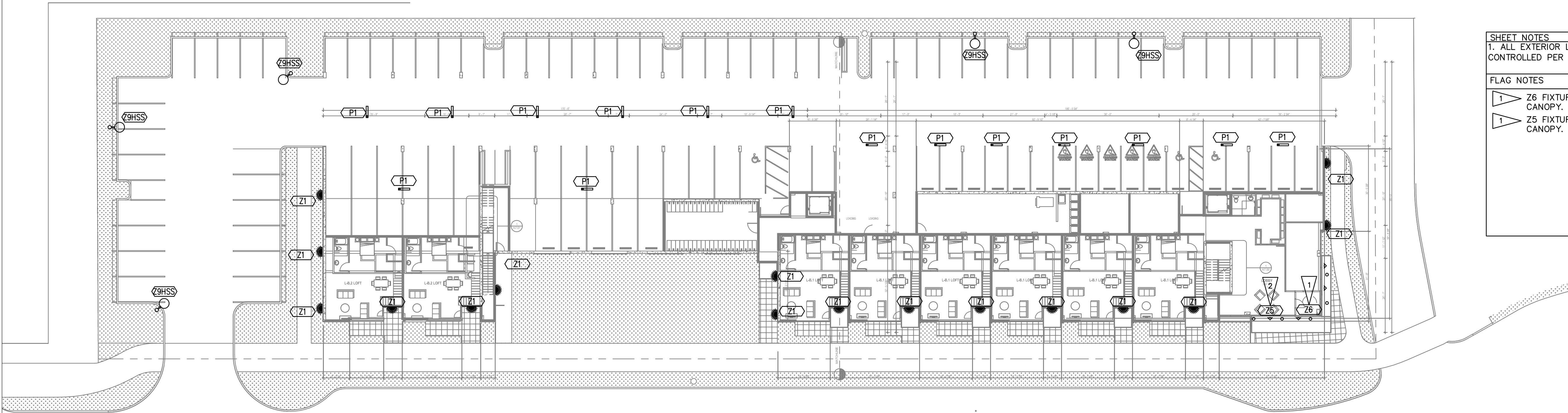
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CHECKED: AF  
PROJECT No. 2101-003

## LUMINAIRE SCHEDULE

ISSUE: DESIGN DEVELOPMENT

E0.01





LIGHTING

SITE PLAN

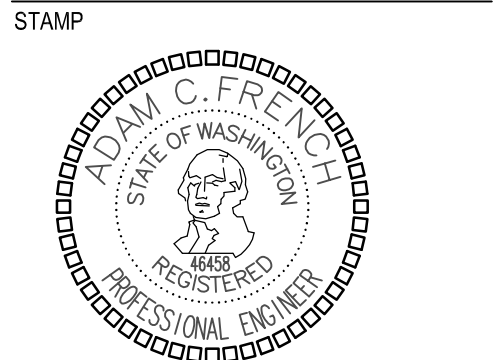
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SHEET NOTES	
1. ALL EXTERIOR LIGHTING TO BE CONTROLLED PER LIGHTING DETAIL X/E6.XX	
FLAG NOTES	
1	Z6 FIXTURE TO BE MOUNTED BELOW CANOPY.
1	Z5 FIXTURE TO BE MOUNTED ABOVE CANOPY.

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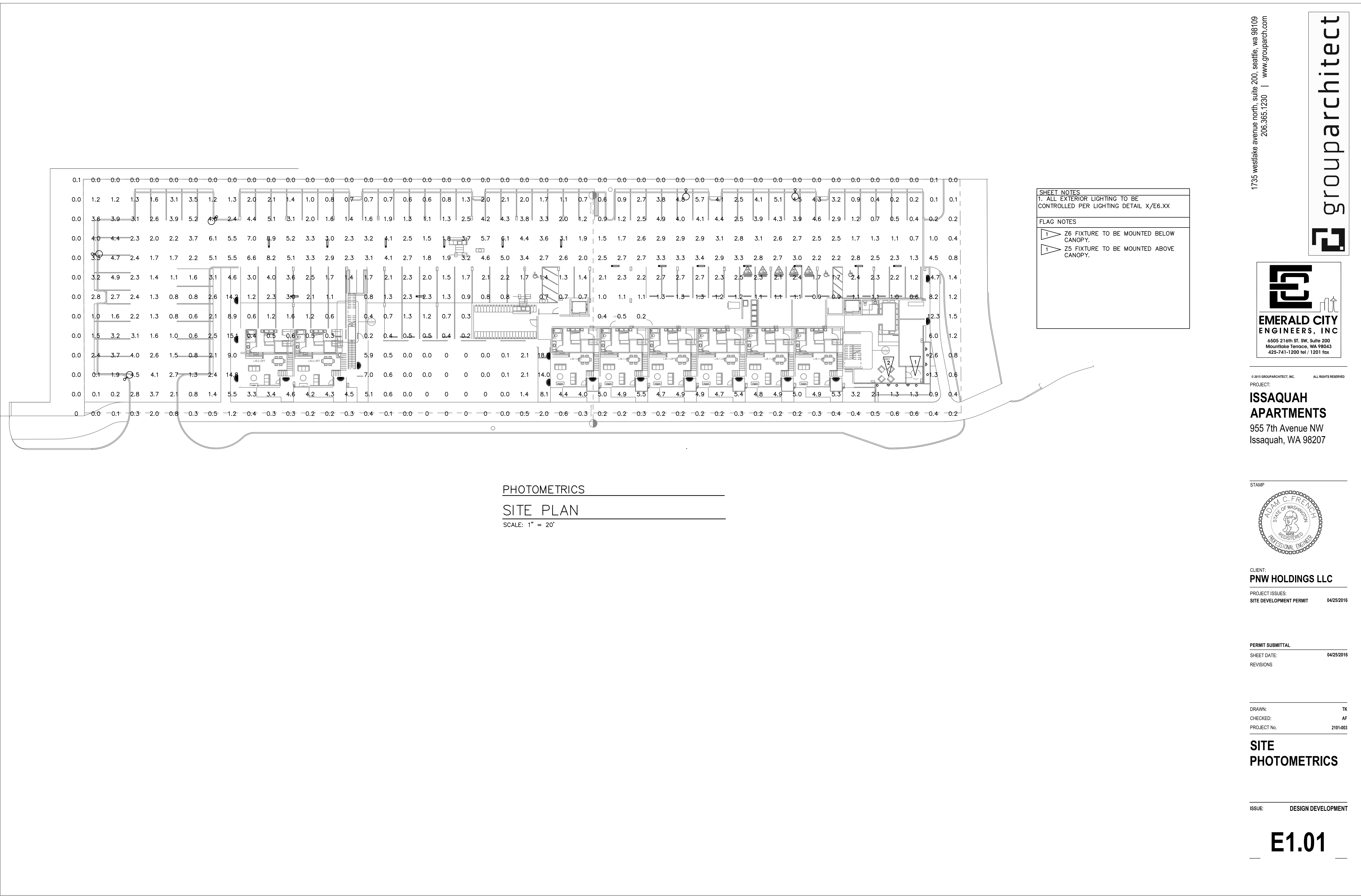
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REVISIONS

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PROJECT No. Z101-003

SITE LIGHTING

ISSUE: DESIGN DEVELOPMENT

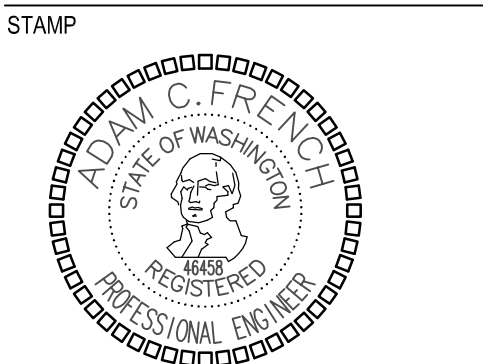
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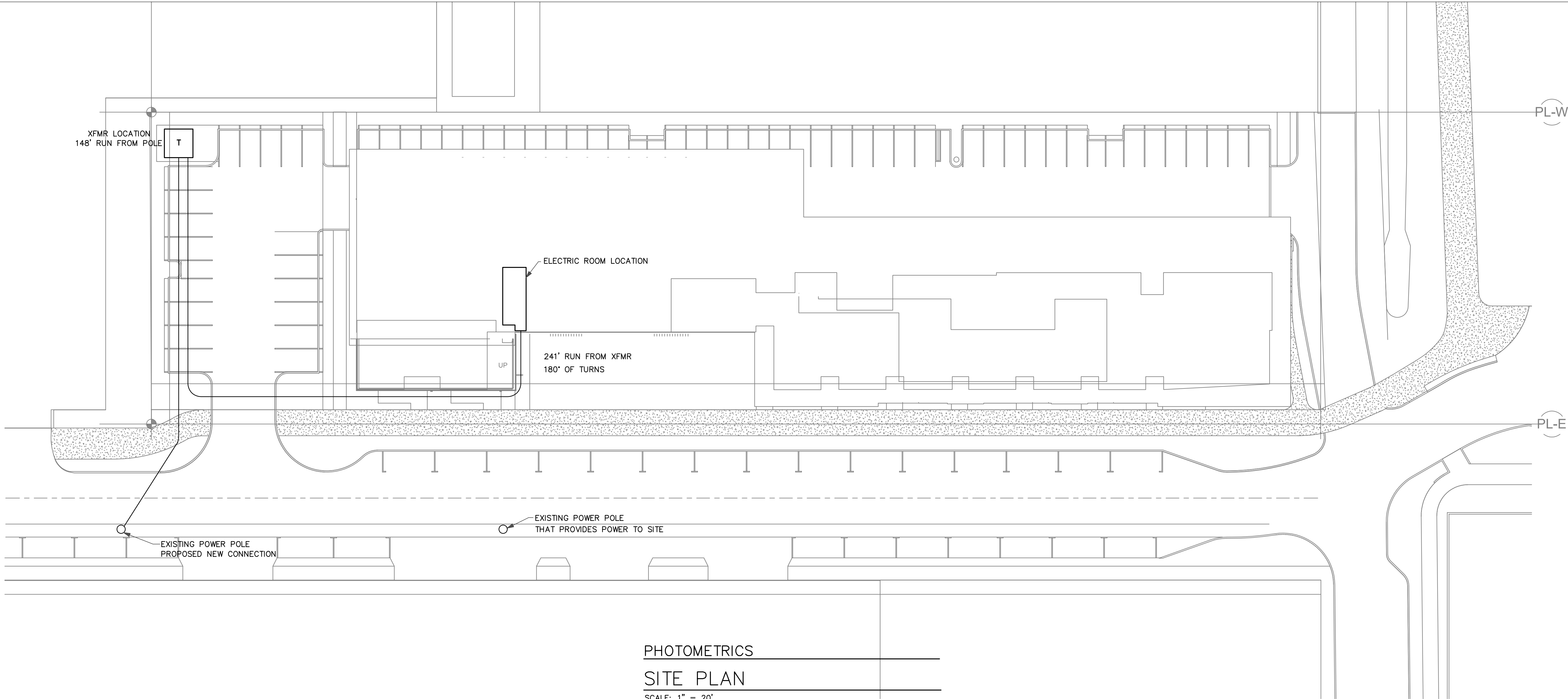
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**SITE  
PHOTOMETRICS**

ISSUE: DESIGN DEVELOPMENT

**E1.01**



PHOTOMETRICS

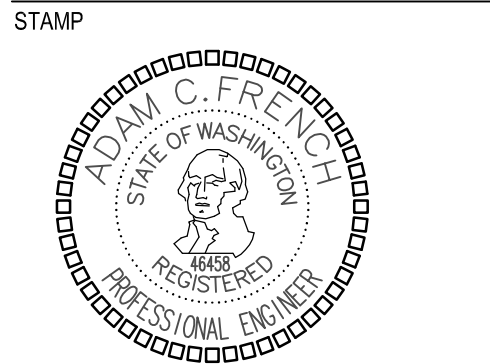
SITE PLAN

SCALE: 1" = 20'

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**SITE POWER**

ISSUE: DESIGN DEVELOPMENT

**E1.02**